

IDEA PUBLIC SCHOOLS ENVELOPE IMPROVEMENTS CENTRAL TEXAS PROJECT # 40-CBE-0524

IDEA Public Schools Board of Directors 2024

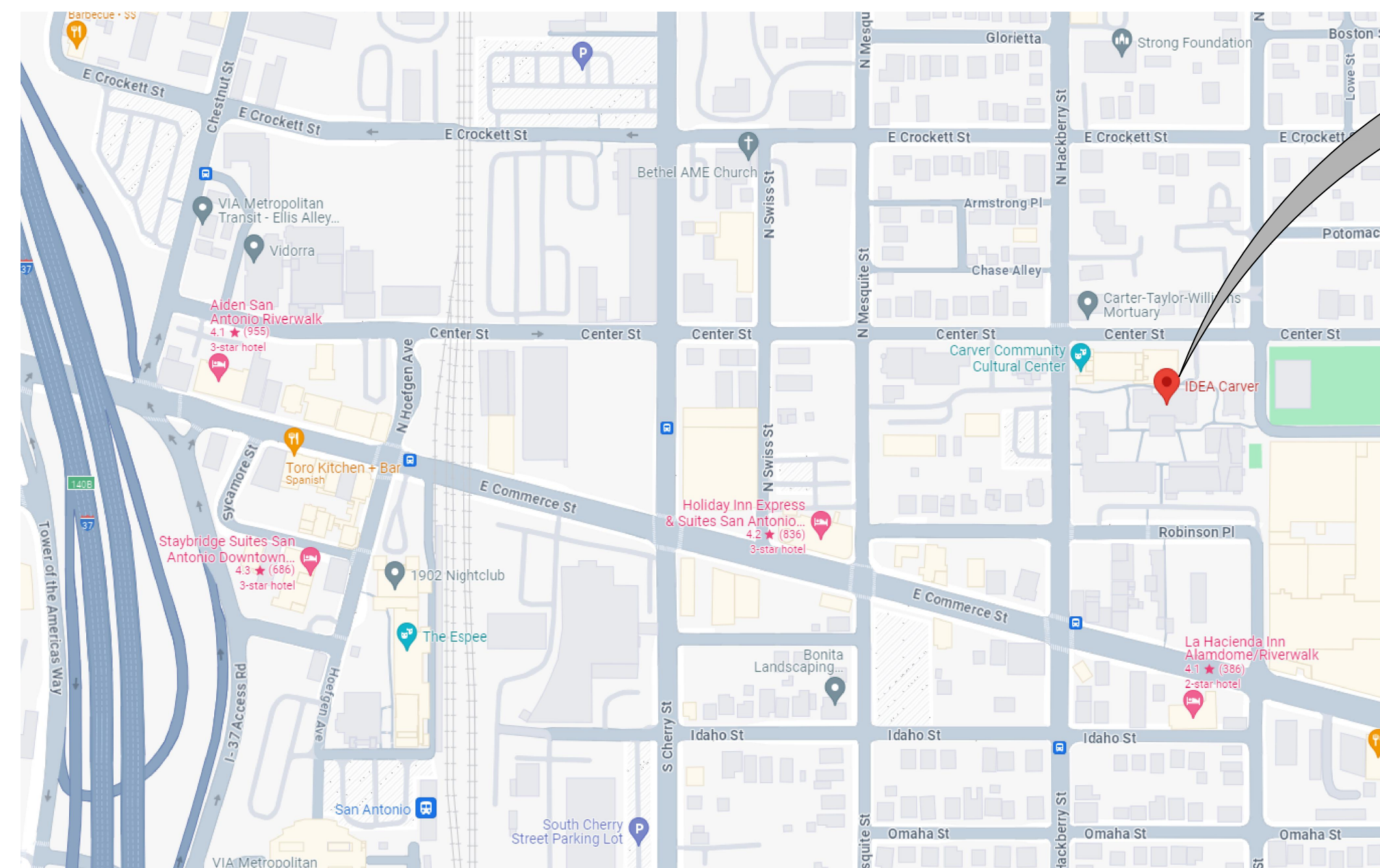
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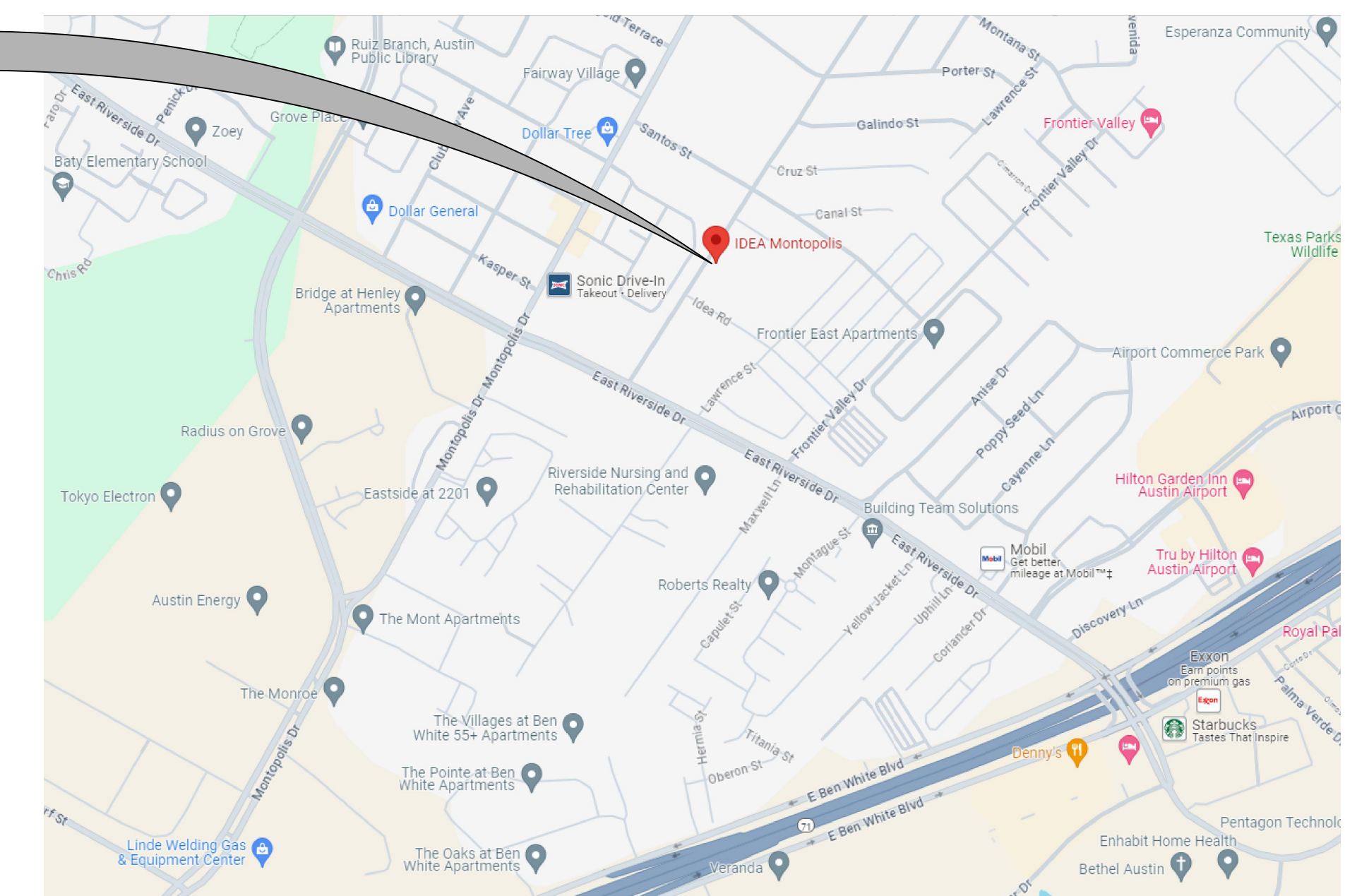
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IDEA CARVER CAMPUS

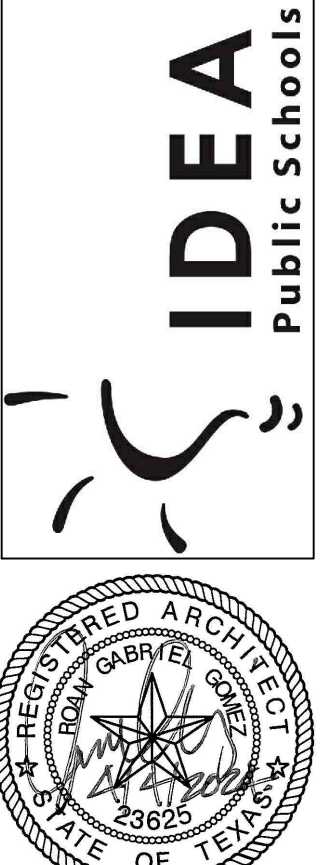
IDEA MONTOPOLIS CAMPUS

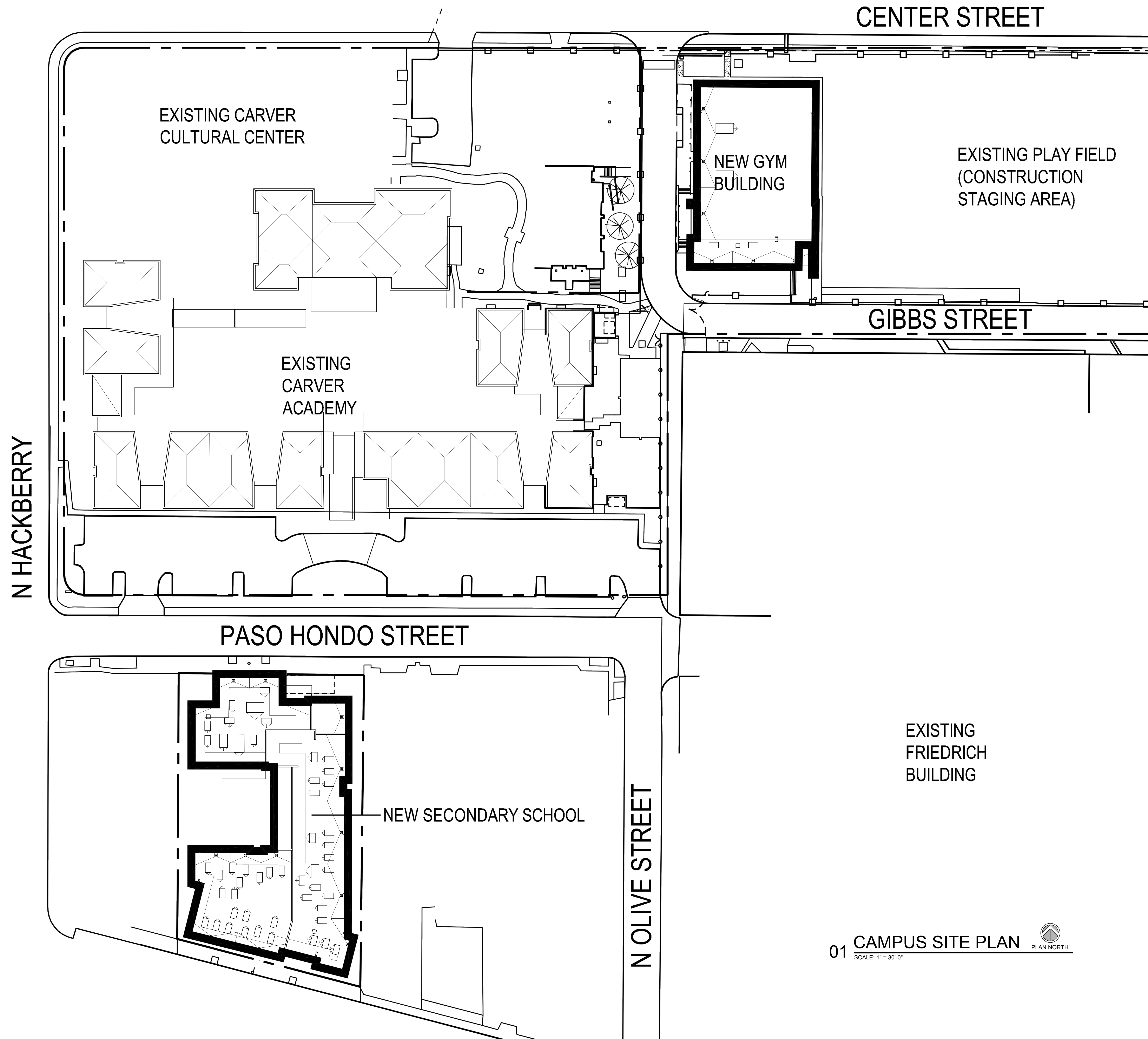


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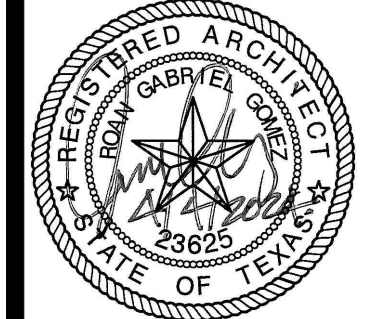
ARCHITECTS
GOMEZ MENDEZ SAENZ, INC.
1150 PAREDES LINE RD. BROWNSVILLE, TX. 78521
PH. (956) 546-0110 FAX. (956) 546-0196





01 CAMPUS SITE PLAN 
 SCALE: 1" = 30'-0"

IDEA Public Schools - Exterior Envelope Repairs
 IDEA San Antonio Carver
 San Antonio, Texas



© Copyright 2024
 Gomez Mendez Saenz Inc.
 Architects-Planners
 Interior Designers
 Date: MARCH 2024
 Scale: As Noted
 Project Architect: Roan Gomez, AIA
 Drawn By: RN MA
 Job No: Exterior Envelope
 Sheet:

GENERAL ROOFING NOTES:

Where applicable, the re-roofing portion of this project has been designed to be in compliance with all applicable codes, including but not limited to the International Building Code (latest edition). The specified roofing system meets Factory Mutual Research Corporation Standard 4470 Approval requirements for Class 1 Fire and 1-90 Windstorm Classification and Class 1-SH Hail Rating.

At all new roof work areas and prior to construction, walk through every room in buildings with Owner's representative and identify water damaged ceilings, walls, etc. to determine location & amounts of interior water damage. Provide copy of this list to Architect.

It is the Contractor's responsibility to field-verify existing conditions, dimensions, quantities, and etc., prior to bidding.

Inspect all deck areas for damage and report to Architect any deficiencies found.

Replace all lead roof jacks vents with new leads.

Install new double-wall heater vents and extend flues to match existing as required to accommodate new roof thickness and to provide a minimum 12-inch height from the new roof surface to the bottom of the vent cap.

Extend all ducts, pipes, conduit, wire and etc., as required to accommodate new roof system.

At all existing utility piping, conduit, etc. provide proper sized Pipe Stands as specified, under all pipes and conduit, at 8'-0" o.c. unless a narrower spacing is required for proper support.

The Contractor shall be responsible for having a licensed electrical, plumbing and mechanical contractor carefully remove, raise or modify and carefully reinstall existing operating mechanical, electrical, plumbing and related equipment as required to complete the work.

The Contractor shall take extreme care in working with existing items that are to remain. Damage caused by the construction process will be repaired by the Contractor at no cost to the Owner.

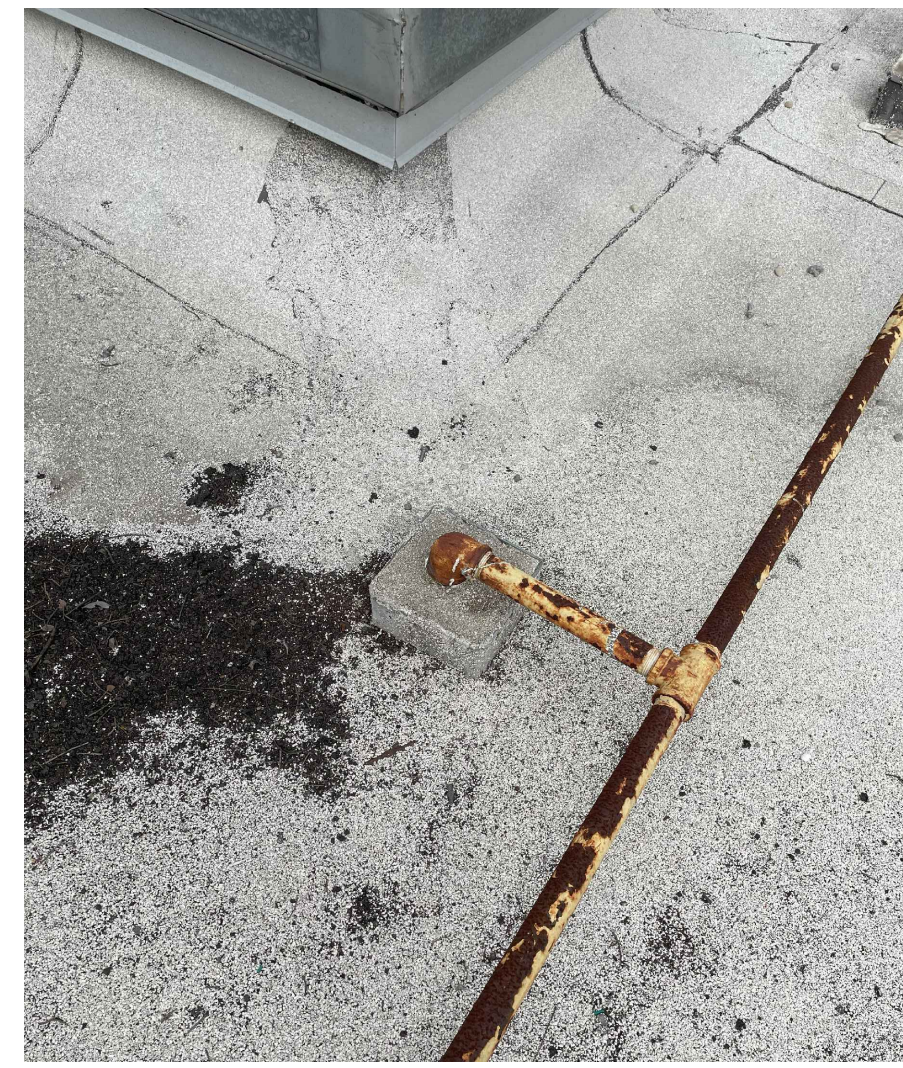
At the completion of all roofing work at each building, all existing roof drains and related piping shall be water tested, checked and certified by a licensed plumbing contractor to be operational and leak free.

SCOPE OF WORK:

1. Purge drain lines from roof level to discharge points. Perform water test at all roof drains.
2. Repair drain lines and reseal roof drains.
3. Replace roof accessories at electrical conduits and disconnect penetrations with roof accessories detailed on 02/A2.05 and 03/A2.05. Typical at all electrical penetration locations noted on Sheets A2.01 thru A2.04.
4. Replace roof penetration at gas lines and provide new gas line flashing boot



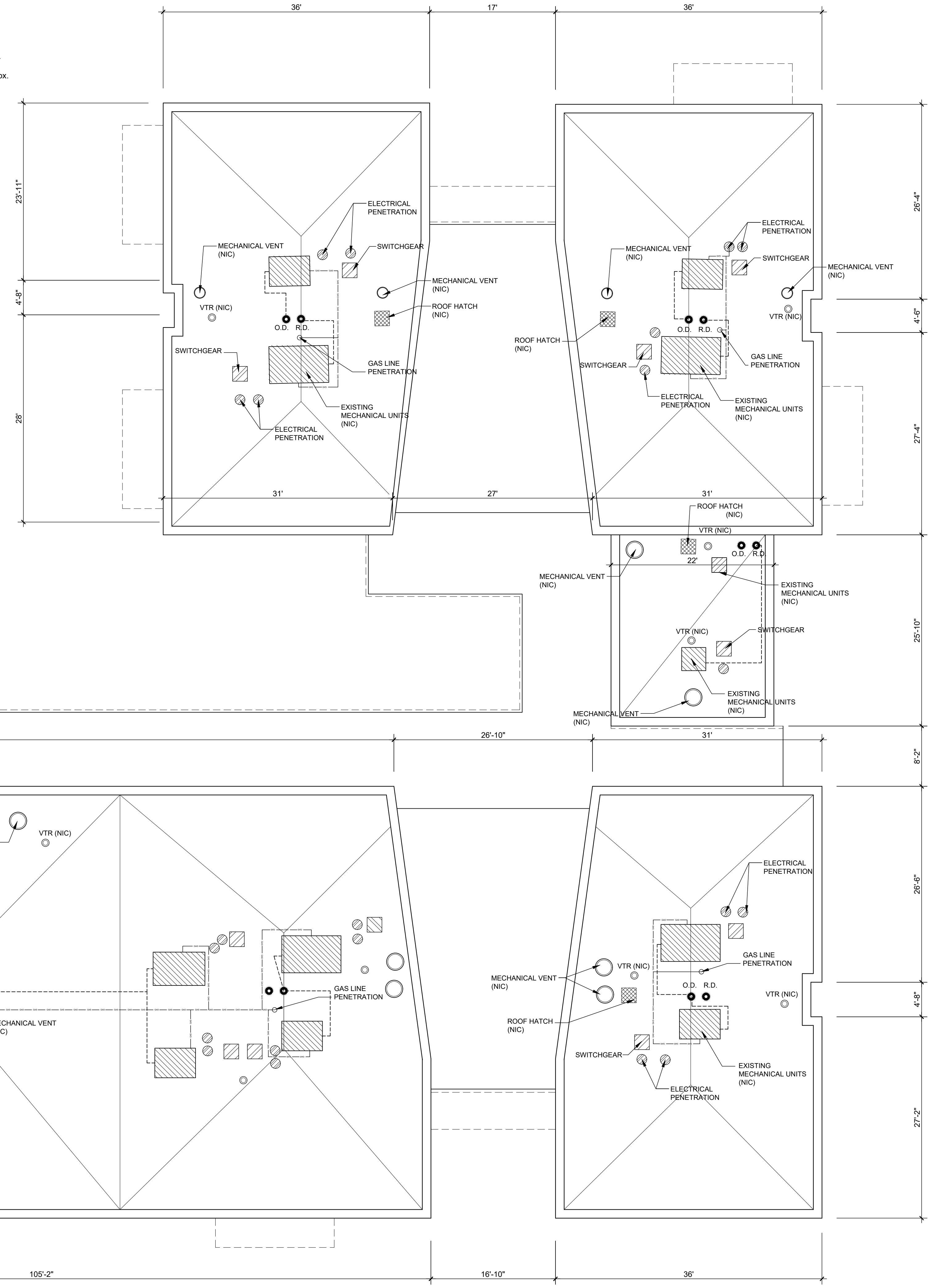
Electrical Roof Penetration
 • Remove sealant and mastic at conduit and unistrut roof penetration.
 • Verify integrity of modified bitumen roofing membrane at penetration curb.
 • Reseal penetrations and apply roof sealant.
 • Install new weatherseal, cover and gasket at electrical outlet and j-box.
 Refer to 02/A2.05, 03/A2.05.



Gas Line Roof Penetration
 • Remove sealant and mastic at gas line roof penetration.
 • Verify integrity of modified bitumen roofing membrane at penetration curb.
 • Reseal penetrations and apply roof sealant.
 • Install new weatherseal, cover and gasket at electrical outlet and j-box.
 Refer to 02/A2.05, 03/A2.05.

SYMBOL LEGEND:

- ELECTRICAL SERVICE SWITCHGEAR
- ELECTRICAL ROOF PENETRATION
- GAS LINE AND ROOF PENETRATION
- ROOF DRAIN / OVERFLOW DRAIN
- ROOF TOP MECHANICAL FAN ON CURB (NIC)
- ROOF TOP MECHANICAL UNIT ON CURB (NIC)
- VENT THRU ROOF (NIC)
- ROOF HATCH ON CURB (NIC)
- CONDENSATE DRAIN LINE (NIC)
- PITCH PAN AT HIGH ROOF GUTTER (NIC)



01 BUILDING A & B ROOF PLAN

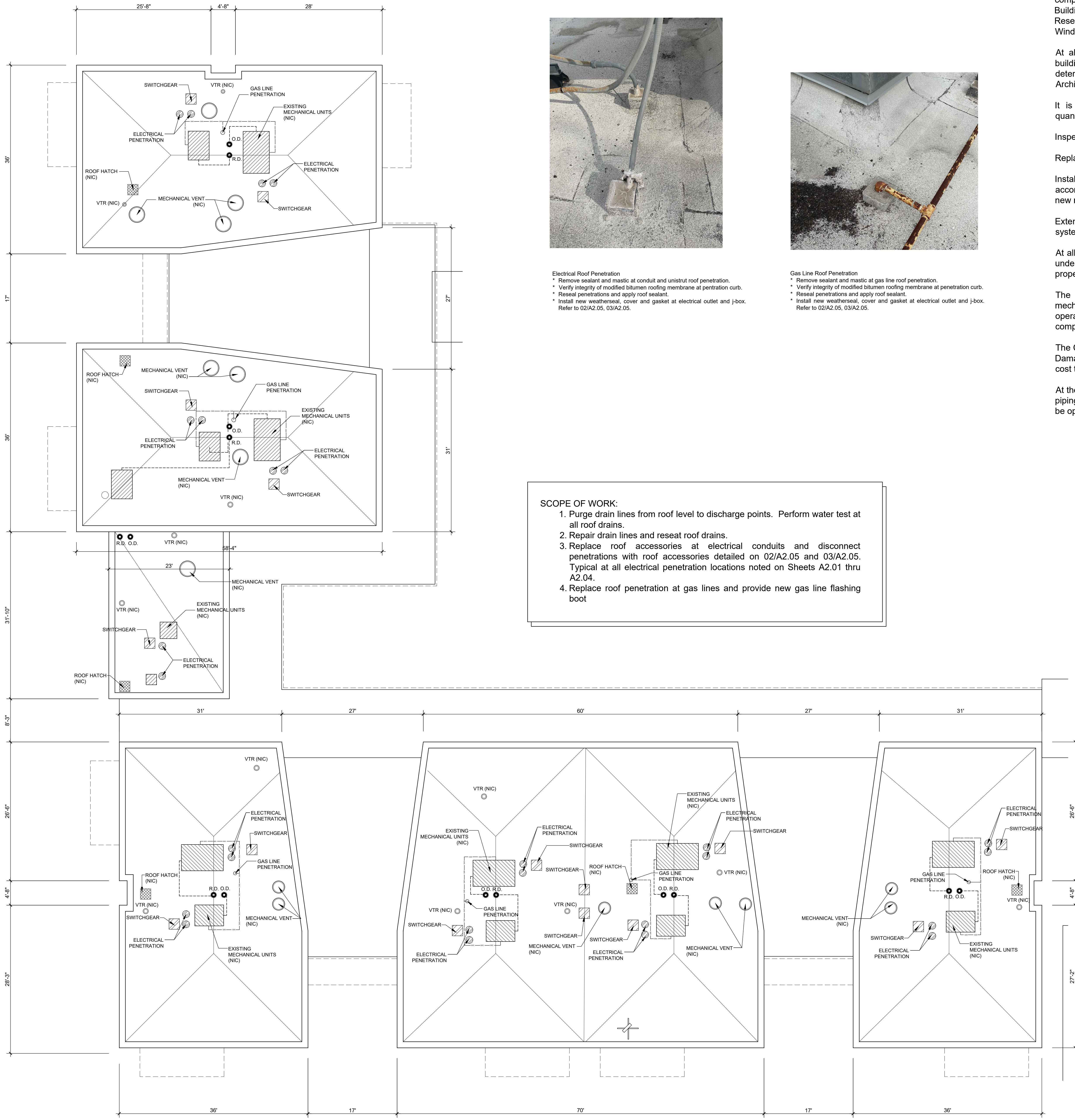
SCALE: 1/8" = 1'-0"



GENERAL ROOF NOTES:

- 1.) ALL PENETRATIONS SHALL BE COORDINATED WITH MEP SUBCONTRACTOR AND SHALL BE PERFORMED BY THE ROOFING CONTRACTOR
- 2.) NOTE ALL ROOF PENETRATIONS SHALL BE COORDINATED WITH MECHANICAL / ELECTRICAL SUBCONTRACTOR AND THE ROOFING SUBCONTRACTOR
- 3.) REFER TO SHEETS A2.05 FOR ADDITIONAL ROOF NOTES AND DETAILS
- 4.) PROVIDE NEW ROOF PENETRATIONS, SEALANT AND WEATHERPROOF CAPS AT ALL ELECTRICAL AND GAS PENETRATIONS.





Electrical Roof Penetration
 • Remove sealant and mastic at conduit and unistrut roof penetration.
 • Verify integrity of modified bitumen roofing membrane at penetration curb.
 • Reseal penetrations and apply roof sealant.
 • Install new weatherseal, cover and gasket at electrical outlet and j-box.
 Refer to 02/A2.05, 03/A2.05.



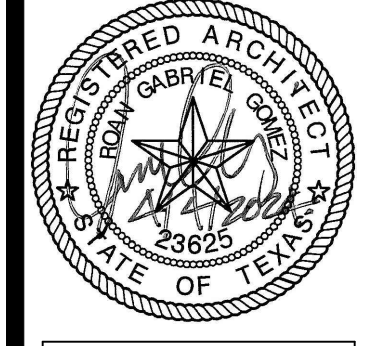
Gas Line Roof Penetration
 • Remove sealant and mastic at gas line roof penetration.
 • Verify integrity of modified bitumen roofing membrane at penetration curb.
 • Reseal penetrations and apply roof sealant.
 • Install new weatherseal, cover and gasket at electrical outlet and j-box.
 Refer to 02/A2.05, 03/A2.05.

SCOPE OF WORK:
 1. Purge drain lines from roof level to discharge points. Perform water test at all roof drains.
 2. Repair drain lines and reseal roof drains.
 3. Replace roof accessories at electrical conduits and disconnect penetrations with roof accessories detailed on 02/A2.05 and 03/A2.05. Typical at all electrical penetration locations noted on Sheets A2.01 thru A2.04.
 4. Replace roof penetration at gas lines and provide new gas line flashing boot

GENERAL ROOFING NOTES:
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 It is the Contractor's responsibility to field-verify existing conditions, dimensions, quantities, and etc., prior to bidding.
 Inspect all deck areas for damage and report to Architect any deficiencies found.
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 Install new double-wall heater vents and extend flues to match existing as required to accommodate new roof thickness and to provide a minimum 12-inch height from the new roof surface to the bottom of the vent cap.
 Extend all ducts, pipes, conduit, wire and etc., as required to accommodate new roof system.
 At all existing utility piping, conduit, etc. provide proper sized Pipe Stands as specified, under all pipes and conduit, at 8'-0" o.c. unless a narrower spacing is required for proper support.
 The Contractor shall be responsible for having a licensed electrical, plumbing and mechanical contractor carefully remove, raise or modify and carefully reinstall existing operating mechanical, electrical, plumbing and related equipment as required to complete the work.
 The Contractor shall take extreme care in working with existing items that are to remain. Damage caused by the construction process will be repaired by the Contractor at no cost to the Owner.
 At the completion of all roofing work at each building, all existing roof drains and related piping shall be water tested, checked and certified by a licensed plumbing contractor to be operational and leak free.

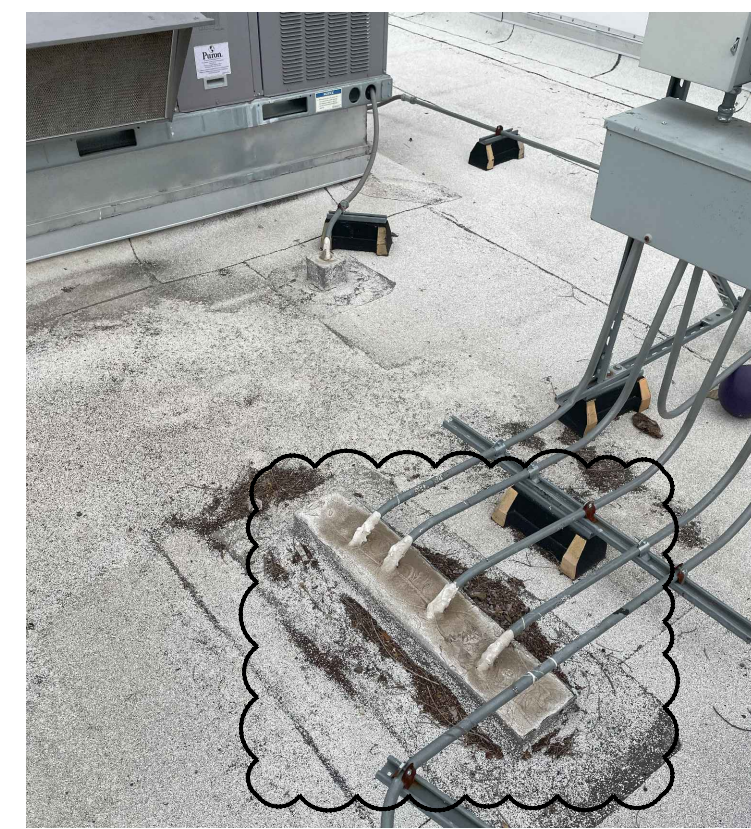
- SYMBOL LEGEND:**
- ELECTRICAL SERVICE SWITCHGEAR
 - ELECTRICAL ROOF PENETRATION
 - GAS LINE AND ROOF PENETRATION
 - ROOF DRAIN / OVERFLOW DRAIN
 - ROOF TOP MECHANICAL FAN ON CURB (NIC)
 - ROOF TOP MECHANICAL UNIT ON CURB (NIC)
 - VENT THRU ROOF (NIC)
 - ROOF HATCH ON CURB (NIC)
 - CONDENSATE DRAIN LINE (NIC)
 - PITCH PAN AT HIGH ROOF GUTTER (NIC)

BUILDING C & D
01 ROOF PLAN
 SCALE: 1/8" = 1'-0"
GENERAL ROOFING NOTES:
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 2.) NOTE ALL ROOF PENETRATIONS SHALL BE COORDINATED WITH MECHANICAL / ELECTRICAL SUBCONTRACTOR AND THE ROOFING SUBCONTRACTOR
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 4.) PROVIDE NEW ROOF PENETRATIONS, SEALANT AND WEATHERPROOF CAPS AT ALL ELECTRICAL AND GAS PENETRATIONS.

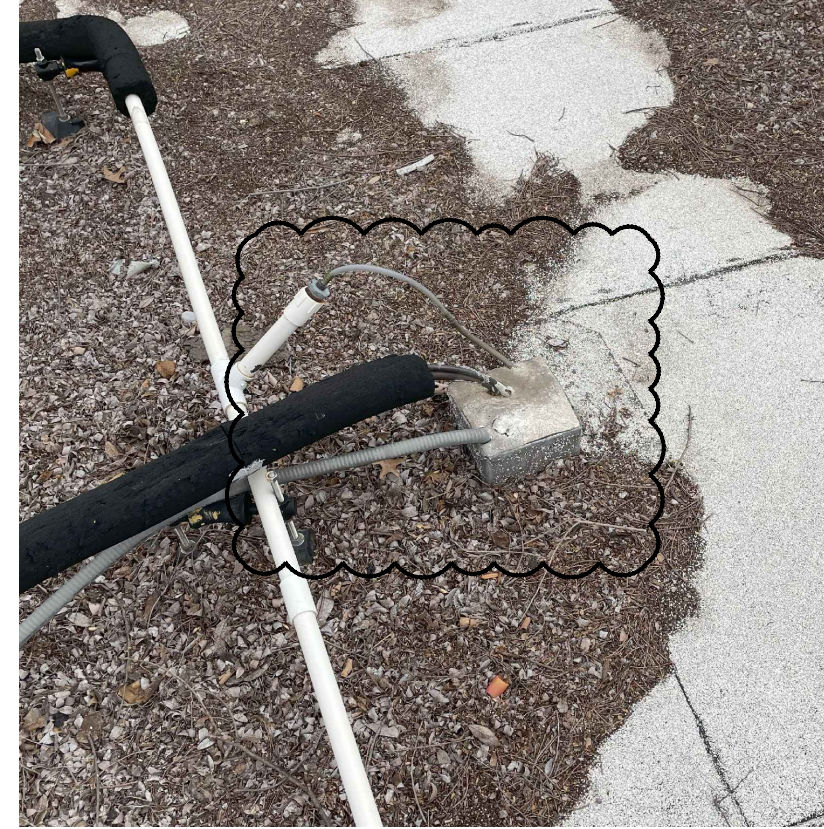




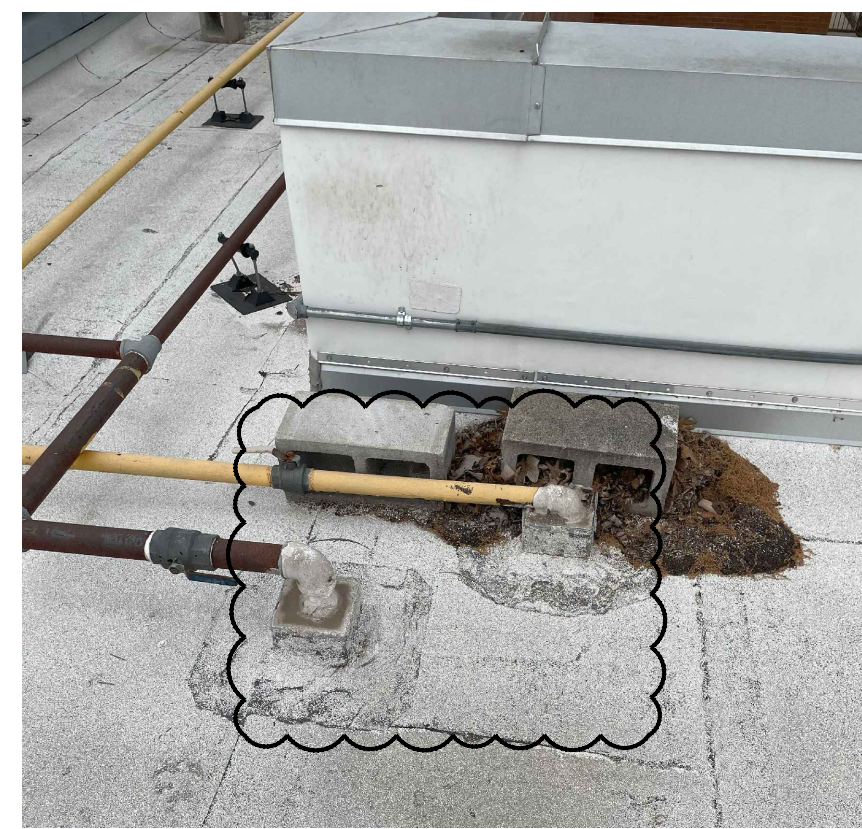
Electrical Roof Penetration
 * Remove sealant and mastic at conduit and unistrut roof penetration.
 * Verify integrity of modified bitumen roofing membrane at penetration curb.
 * Reseal penetrations and apply roof sealant.
 * Install new weatherseal, cover and gasket at electrical outlet and j-box.
 Refer to 02/A2.05, 03/A2.05.



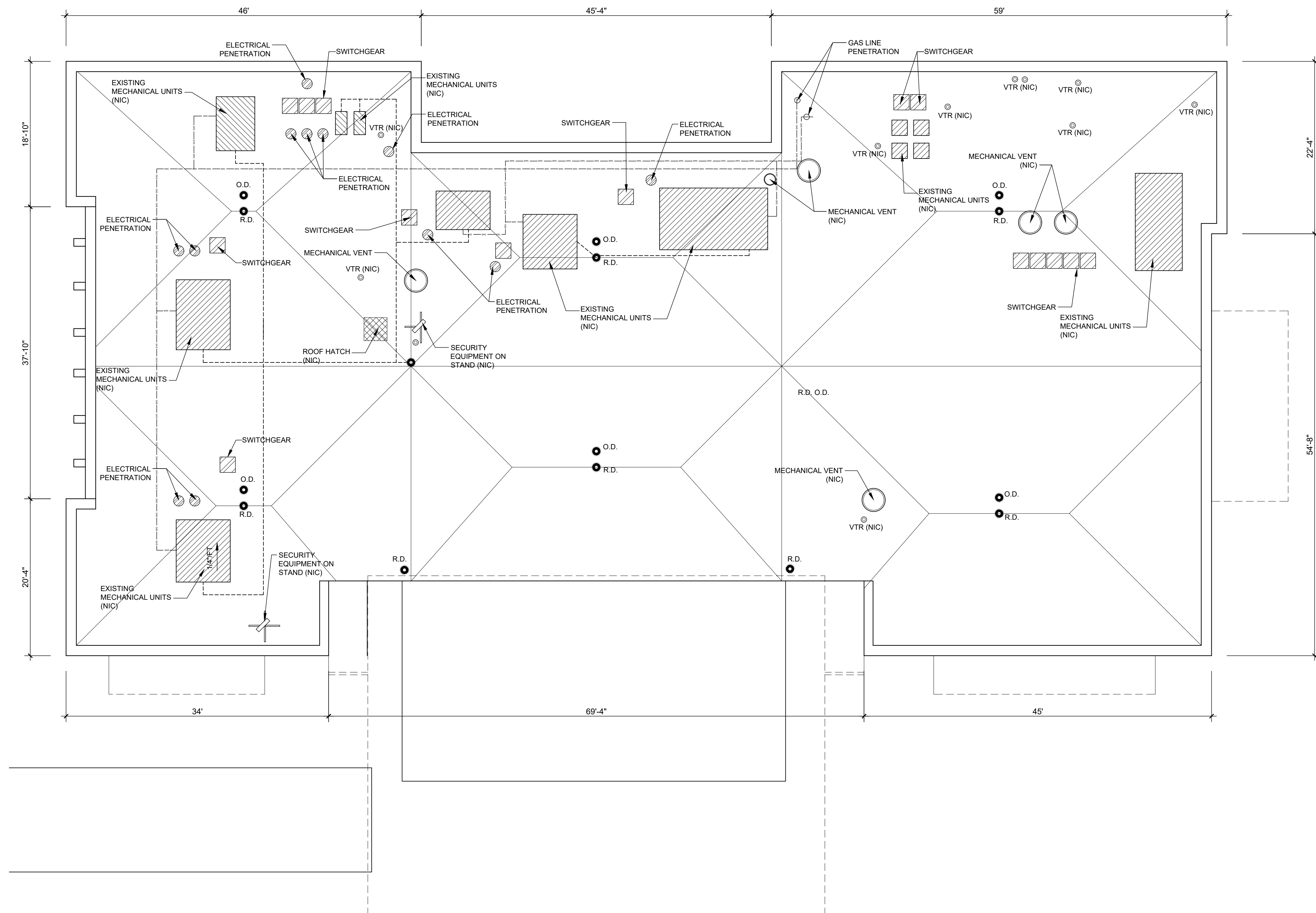
Electrical Roof Penetration
 * Remove sealant and mastic at conduit and unistrut roof penetration.
 * Verify integrity of modified bitumen roofing membrane at penetration curb.
 * Reseal penetrations and apply roof sealant.
 * Install new weatherseal, cover and gasket at electrical outlet and j-box.
 Refer to 02/A2.05, 03/A2.05.



HVAC Line Roof Penetration
 * Remove sealant and mastic at gas line roof penetration.
 * Verify integrity of modified bitumen roofing membrane at penetration curb.
 * Reseal penetrations and apply roof sealant.
 * Install new weatherseal, cover and gasket at electrical outlet and j-box.
 Refer to 02/A2.05, 03/A2.05.



Gas Line Roof Penetration
 * Remove sealant and mastic at gas line roof penetration.
 * Verify integrity of modified bitumen roofing membrane at penetration curb.
 * Reseal penetrations and apply roof sealant.
 * Install new weatherseal, cover and gasket at electrical outlet and j-box.
 Refer to 02/A2.05, 03/A2.05.



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At the completion of all roofing work at each building, all existing roof drains and related piping shall be water tested, checked and certified by a licensed plumbing contractor to be operational and leak free.

SCOPE OF WORK:

1. Purge drain lines from roof level to discharge points. Perform water test at all roof drains.
2. Repair drain lines and reseal roof drains.
3. Replace roof accessories at electrical conduits and disconnect penetrations with roof accessories detailed on 02/A2.05 and 03/A2.05. Typical at all electrical penetration locations noted on Sheets A2.01 thru A2.04.
4. Replace roof penetration at gas lines and provide new gas line flashing boot

SYMBOL LEGEND:

- ELECTRICAL SERVICE SWITCHGEAR
- ELECTRICAL ROOF PENETRATION
- GAS LINE AND ROOF PENETRATION
- ROOF DRAIN / OVERFLOW DRAIN
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- ROOF HATCH ON CURB (NIC)
- CONDENSATE DRAIN LINE (NIC)
- PITCH PAN AT HIGH ROOF GUTTER (NIC)

01 BUILDING E ROOF PLAN
 SCALE: 1/8" = 1'-0"

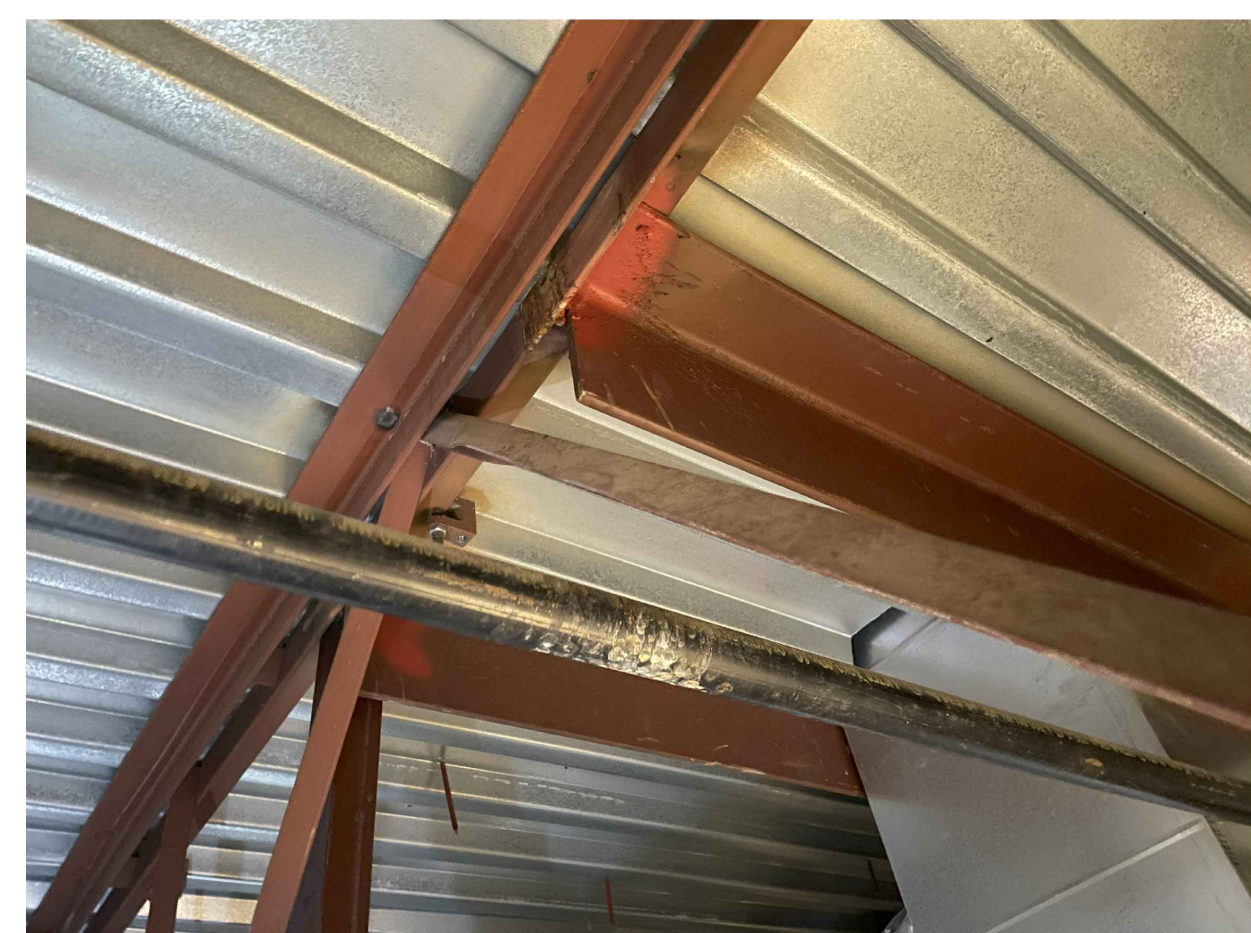


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- 4.) PROVIDE NEW ROOF PENETRATIONS, SEALANT AND WEATHERPROOF CAPS AT ALL ELECTRICAL AND GAS PENETRATIONS.



Roof Drain Penetration
 * Remove roof drain assembly.
 * Verify integrity of modified bitumen roofing membrane at roof drains.
 * Reseal penetrations and apply roof sealant.
 * Install new roof drain and overflow assembly.
 * Clean and water test the drain lines from the roof thru the discharge point.



Roof Drain Penetration
 * Verify integrity of modified bitumen roofing membrane at hvac roof curbs.
 * Reseal penetrations and apply roof sealant.
 * Water Test at roof curb.

GENERAL ROOFING NOTES:

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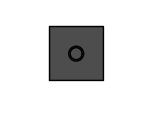
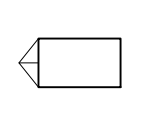
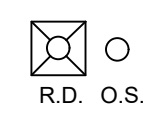
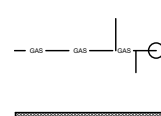
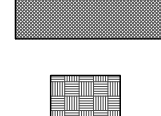
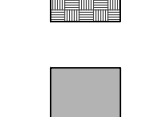

The Contractor shall be responsible for having a licensed electrical, plumbing and mechanical contractor carefully remove, raise or modify and carefully reinstall existing operating mechanical, electrical, plumbing and related equipment as required to complete the work.

The Contractor shall take extreme care in working with existing items that are to remain. Damage caused by the construction process will be repaired by the Contractor at no cost to the Owner.

At the completion of all roofing work at each building, all existing roof drains and related piping shall be water tested, checked and certified by a licensed plumbing contractor to be operational and leak free.

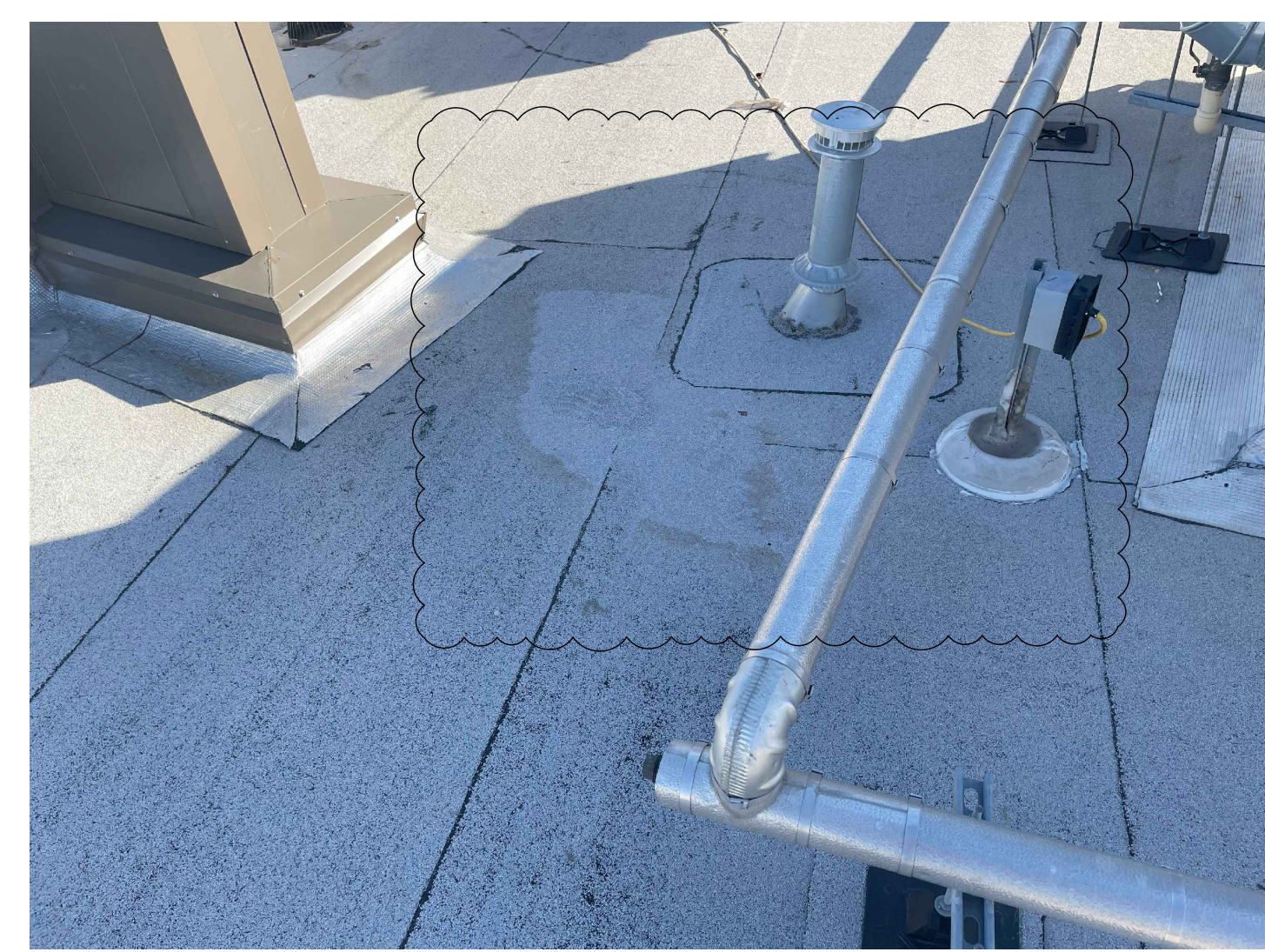
SCOPE OF WORK:
 1. Purge drain lines from roof level to discharge points. Perform water test at all roof drains.
 2. Repair drain lines and reset roof drains.
 3. Repair electrical and mechanical roof penetrations, where noted.
 4. Repair low area where ponding occurs.
 5. Repair roofing membrane transitions at parapet walls, where noted.
 6. Repair air pockets in roofing membrane throughout high roof.

SYMBOL LEGEND:

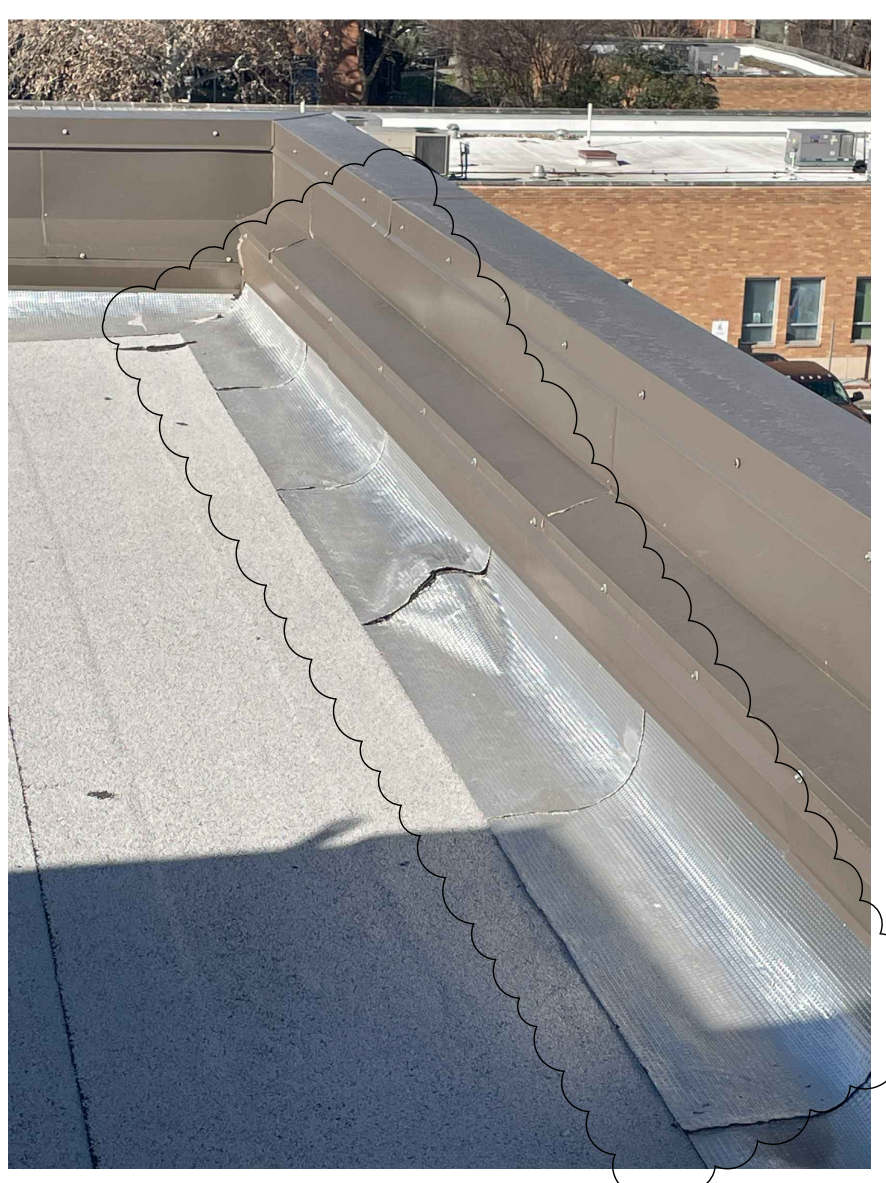
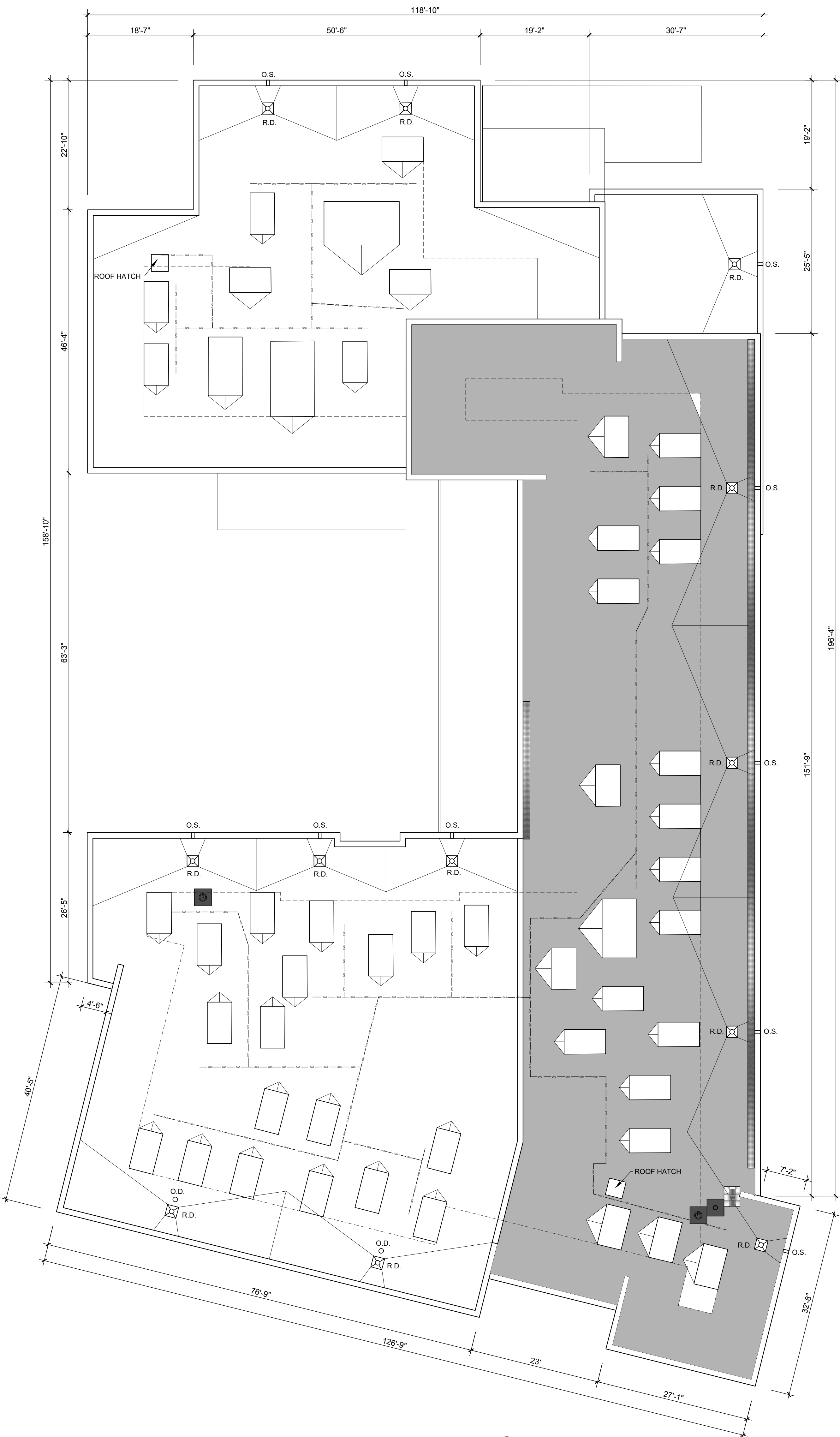
-  ELECTRICAL SERVICE PENETRATION TO BE CLEANED AND RESEALED.
-  MECHANICAL ROOF PENETRATION TO BE CLEANED AND RESEALED.
-  ROOF TOP MECHANICAL UNIT ON CURB
-  ROOF DRAIN / OVERFLOW DRAIN
-  GAS LINE AND ROOF PENETRATION
-  REPLACE PARAPET TRANSITION AND CANT FLASHING
-  REPAIR LOW SPOT IN MOD. BIT. ROOF
-  REPAIR AIR POCKETS IN MOD. BIT. ROOFING MEMBRANES



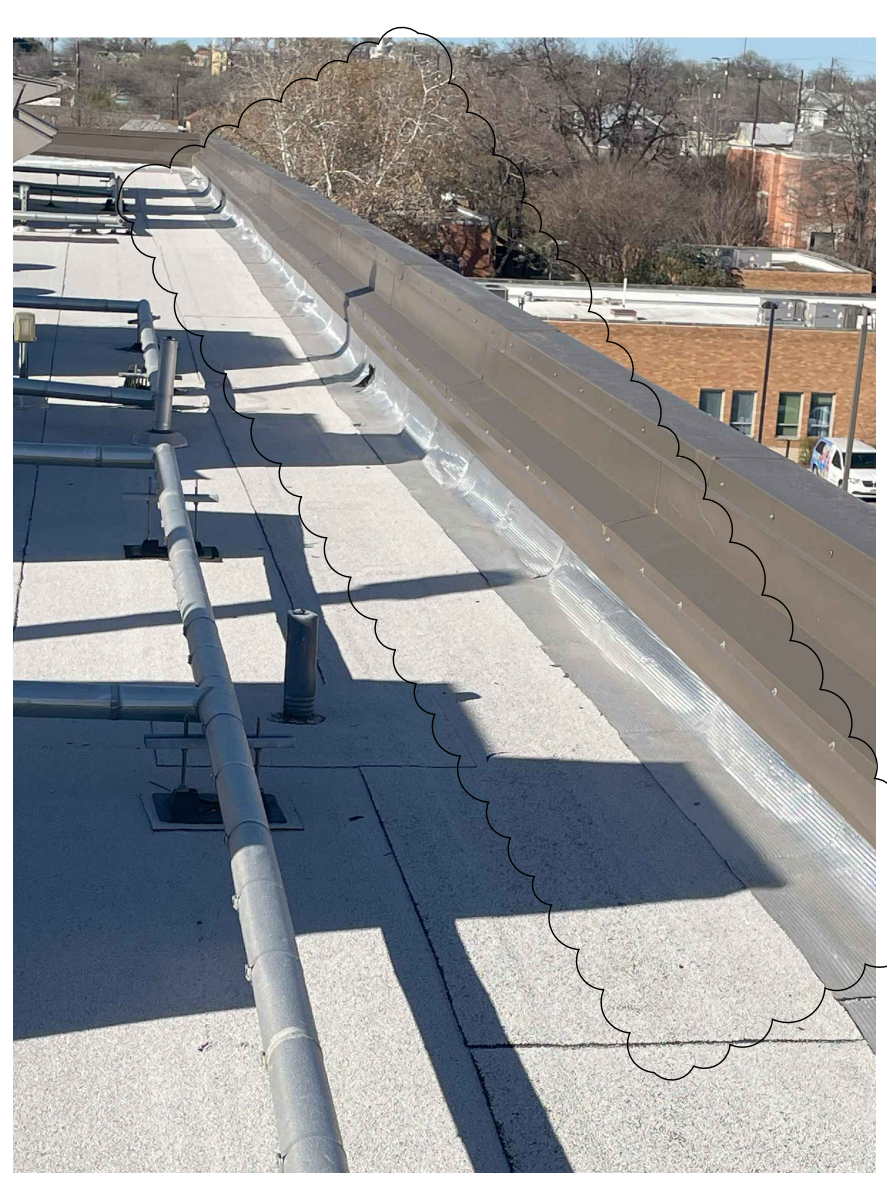
Electrical Roof Penetration
 • Remove sealant and mastic at conduit and unistrut roof penetration.
 • Verify integrity of modified bitumen roofing membrane at penetration curb.
 • Reseal penetrations and apply roof sealant.
 • Install new weatherseal, cover and gasket at electrical outlet and j-box.



Roof Drainage Repair
 • Remove and replace roofing membranes at low area. Provide positive drainage and replace roofing membrane and flashing.
 • Remove sealant and mastic at conduit and unistrut roof penetration.
 • Verify integrity of modified bitumen roofing membrane at penetration or curb.
 • Reseal penetrations and apply liquid roof flashing cement and granules
 • Install new weatherseal, cover and gasket at electrical outlet and j-box.



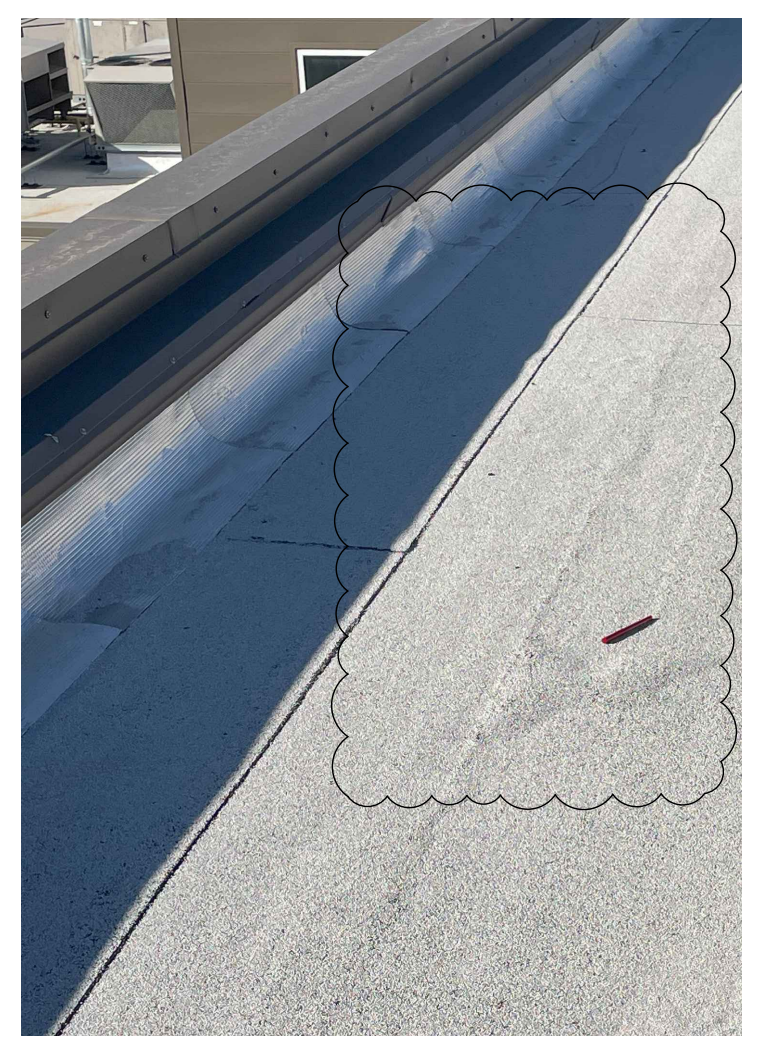
Roofing and Flashing Transition at Parapet Wall
 • Remove flashing transition membrane at parapet wall.
 • Verify integrity of modified bitumen roofing membrane and cant strip.
 • Install new membrane and counterflashing accessories.



Roofing and Flashing Transition at Parapet Wall
 • Remove flashing transition membrane at parapet wall.
 • Verify integrity of modified bitumen roofing membrane and cant strip.
 • Install new membrane and counterflashing accessories.



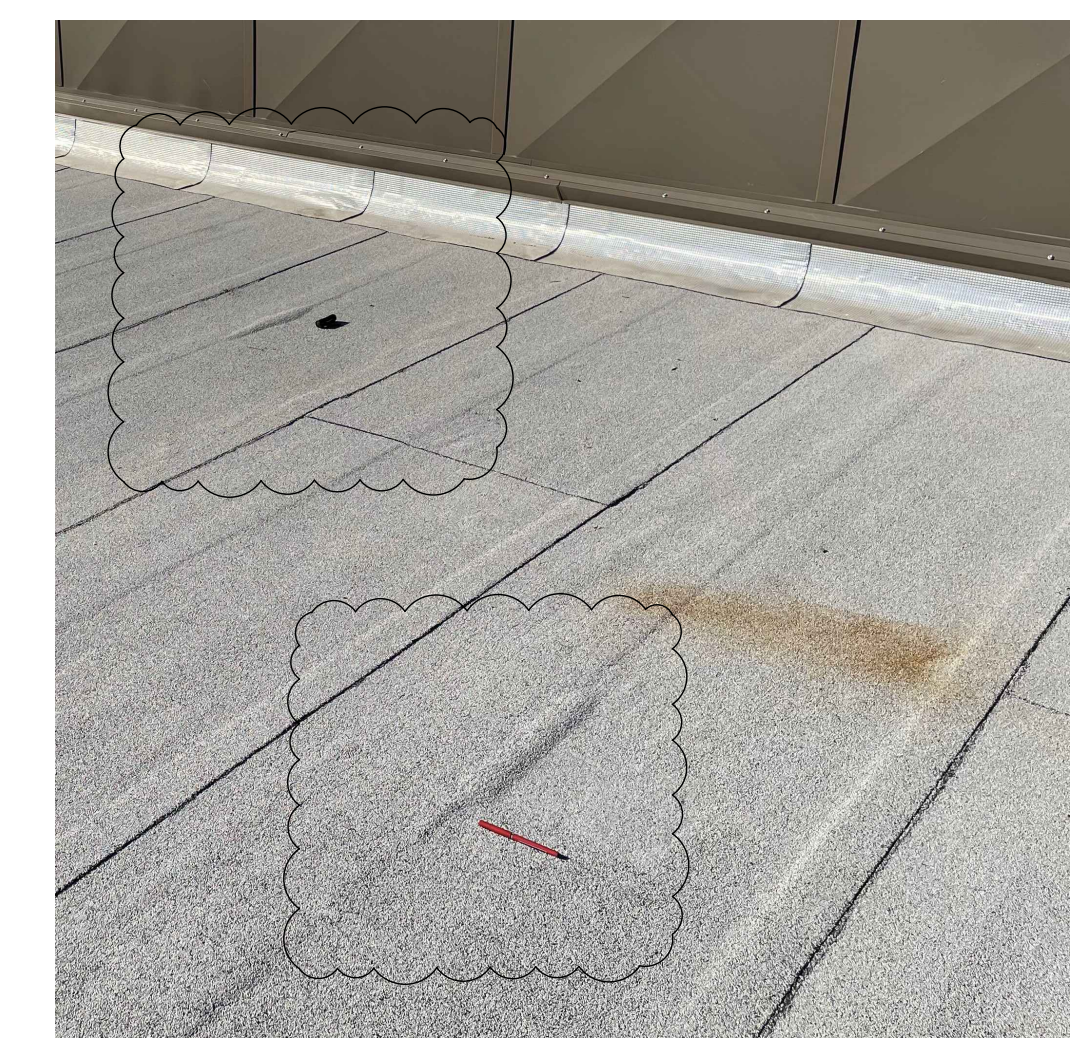
Roofing and Flashing Transition at Parapet Wall
 • Remove flashing transition membrane at parapet wall.
 • Verify integrity of modified bitumen roofing membrane and cant strip.
 • Install new membrane and counterflashing accessories.



Roof Membrane Bubbles
 • Remove flashing transition membrane at parapet wall.
 • Verify integrity of modified bitumen roofing membrane and underlayment.
 • Install new membrane repair and accessories.



Roof Membrane Bubbles
 • Remove flashing transition membrane at parapet wall.
 • Verify integrity of modified bitumen roofing membrane and underlayment.
 • Install new membrane repair and accessories.

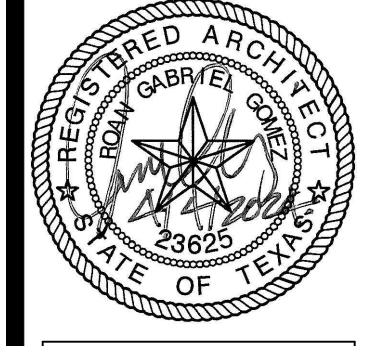


Roof Membrane Bubbles
 • Remove flashing transition membrane at parapet wall.
 • Verify integrity of modified bitumen roofing membrane and underlayment.
 • Install new membrane repair and accessories.

COLLEGE PREP
01 ROOF PLAN
 SCALE: 3/32" = 1'-0"



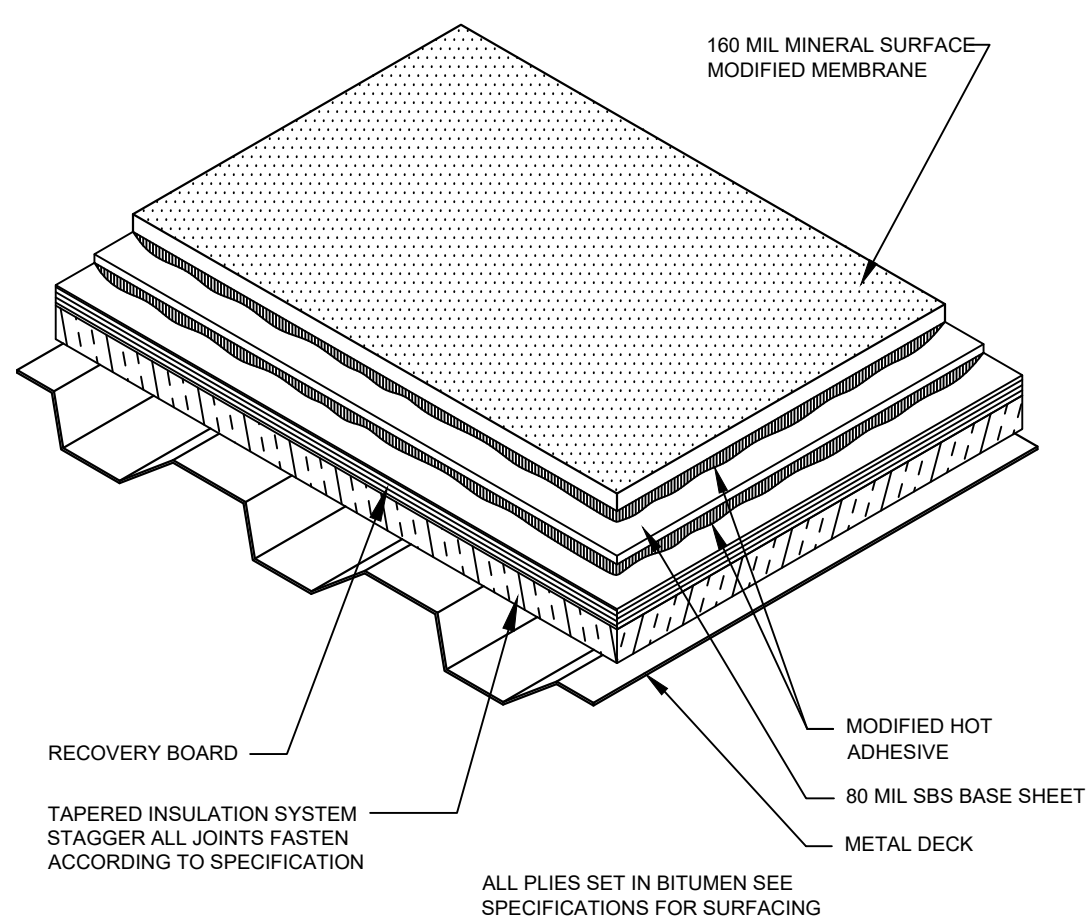
SCOPE OF WORK:
 1. Repair modified bitumen roofing air pockets at high roof (shaded).
 2. Replace cant flashing at parapet wall transition.
 3. Provide positive drainage to roof drain at ponding area on roof.
 4. Replace roof penetration at electrical and mechanical lines, as noted.



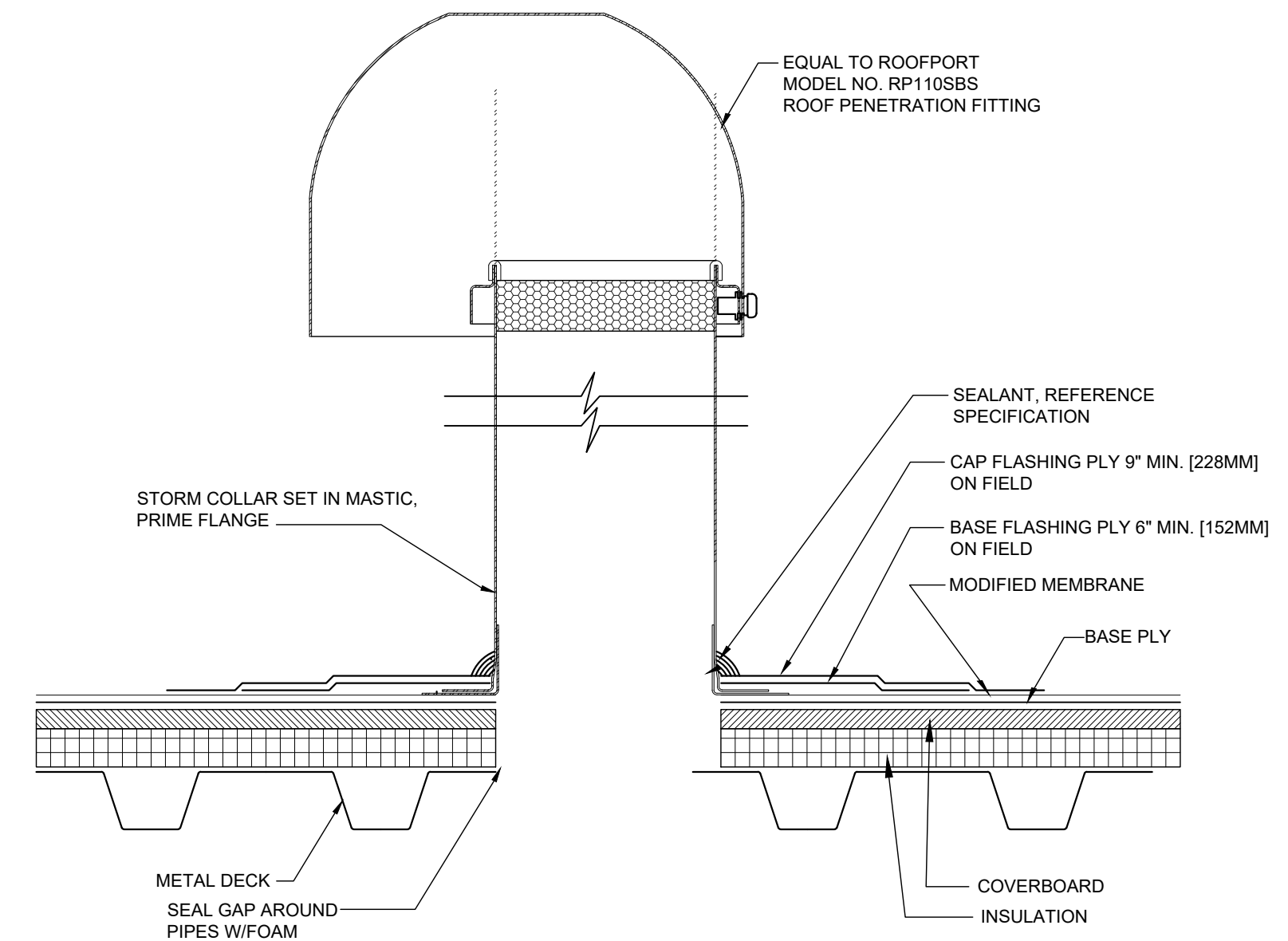
No.	REVISIONS	BY



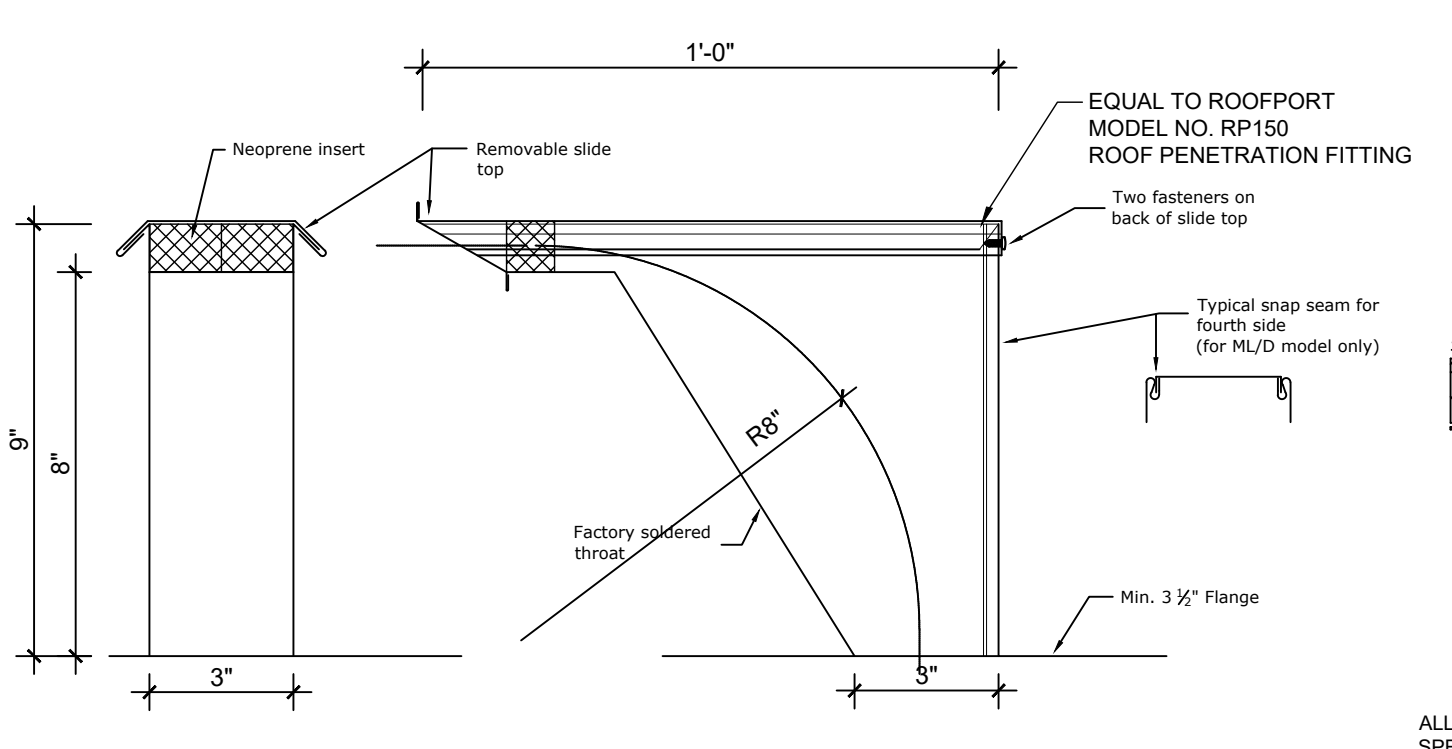
GMS ARCHITECTS
 1150 Paredes Line Rd.
 Brownsville TX 78526
 (956) 546-0110
 fax (956) 546-0196



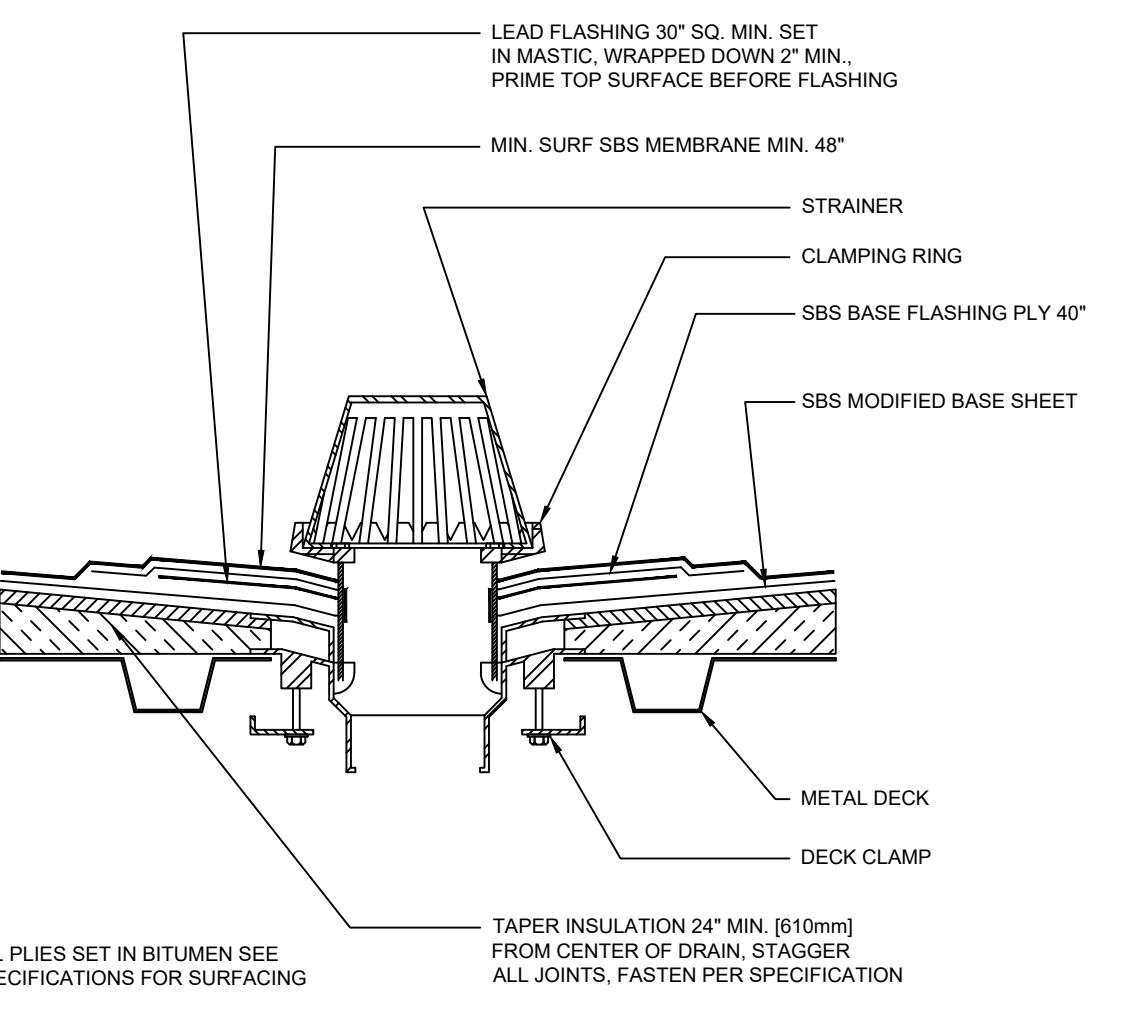
01 MINERAL FINISH
 NOT TO SCALE



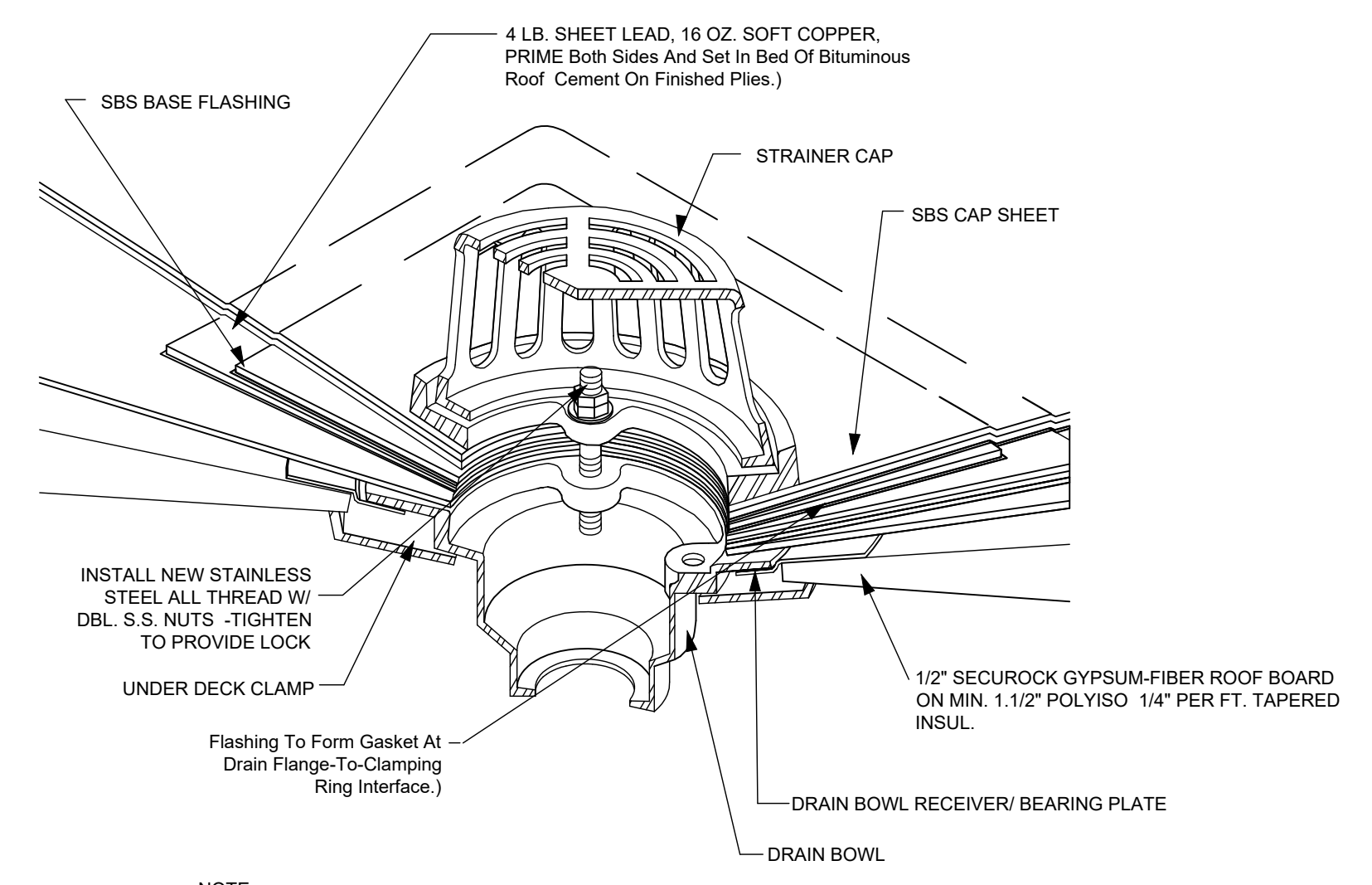
02 PIPING PENETRATION DETAIL
 NOT TO SCALE



03 PIPING ROOF FLASHING DTL
 NOT TO SCALE

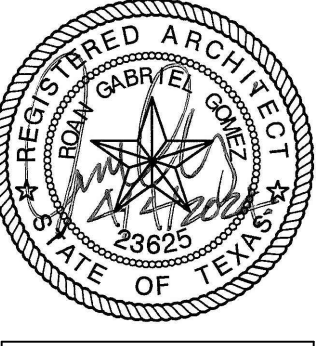
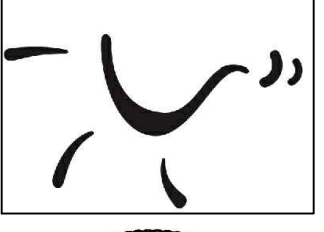


04 ROOF DRAIN DETAIL
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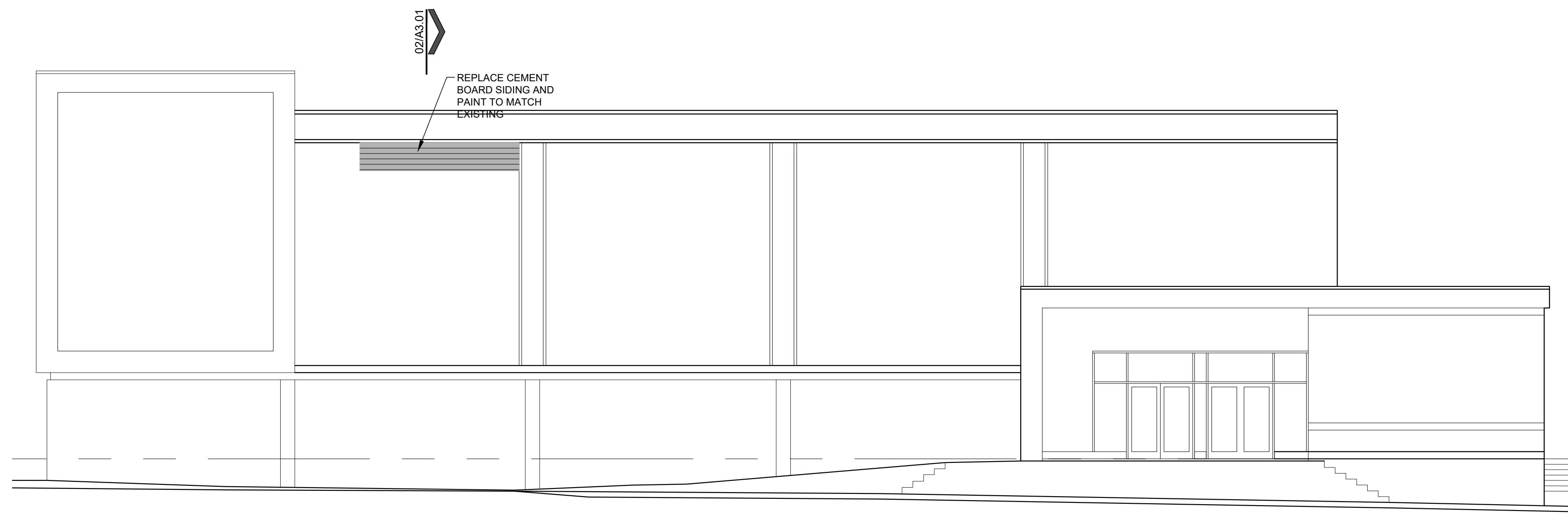
05 TYP. ROOF DRAIN DETAIL
 NOT TO SCALE

IDEA Public Schools - Exterior Envelope Repairs
 IDEA San Antonio Carver
 San Antonio, Texas



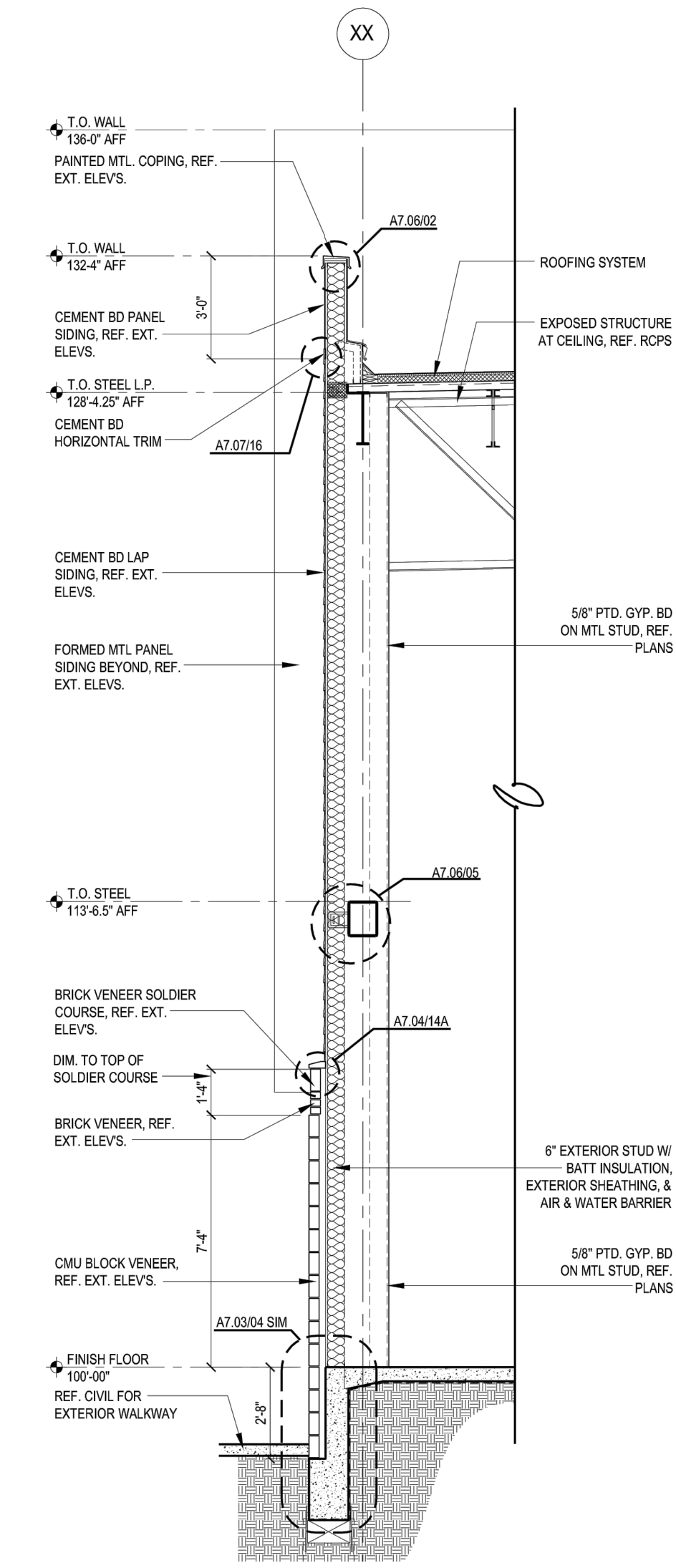
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 Architects-Planners
 Interior Designers
 Date: MARCH 2024
 Scale: As Noted
 Project Architect: Roan Gomez, AIA
 Drawn By: RN MA
 Job No: Exterior Envelope
 Sheet:

A2.05

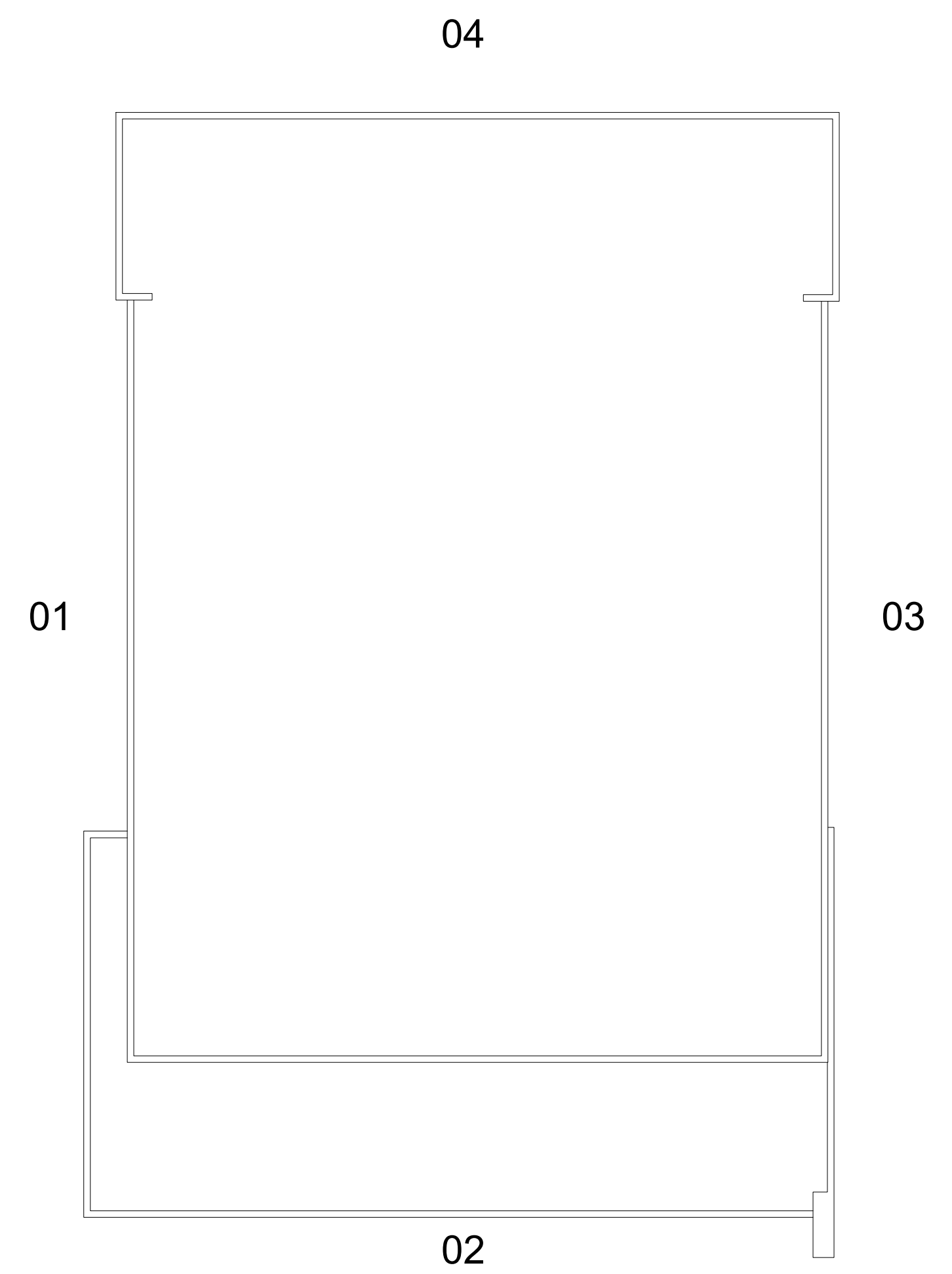


GYMNASIUM
01 NORTH ELEVATION
 SCALE: 3/32" = 1'-0"

- SCOPE OF WORK: (GYMNASIUM)
1. Remove Damaged Cement Board Siding..
 2. Repair Sheathing and Vapor Barrier.
 3. Install new Cement Board Siding.
 4. Paint Cement Board Siding to match existing.



02 WALL SECTION
 SCALE: 1/4" = 1'-0"



GYMNASIUM
KEY PLAN
 PLAN NORTH

No.	REVISIONS	BY

GMS ARCHITECTS
 1150 Paredes Line Rd.
 Brownsville TX 78526
 (956) 546-0110
 fax (956) 546-0196

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 San Antonio, Texas

IDEA
 Public Schools

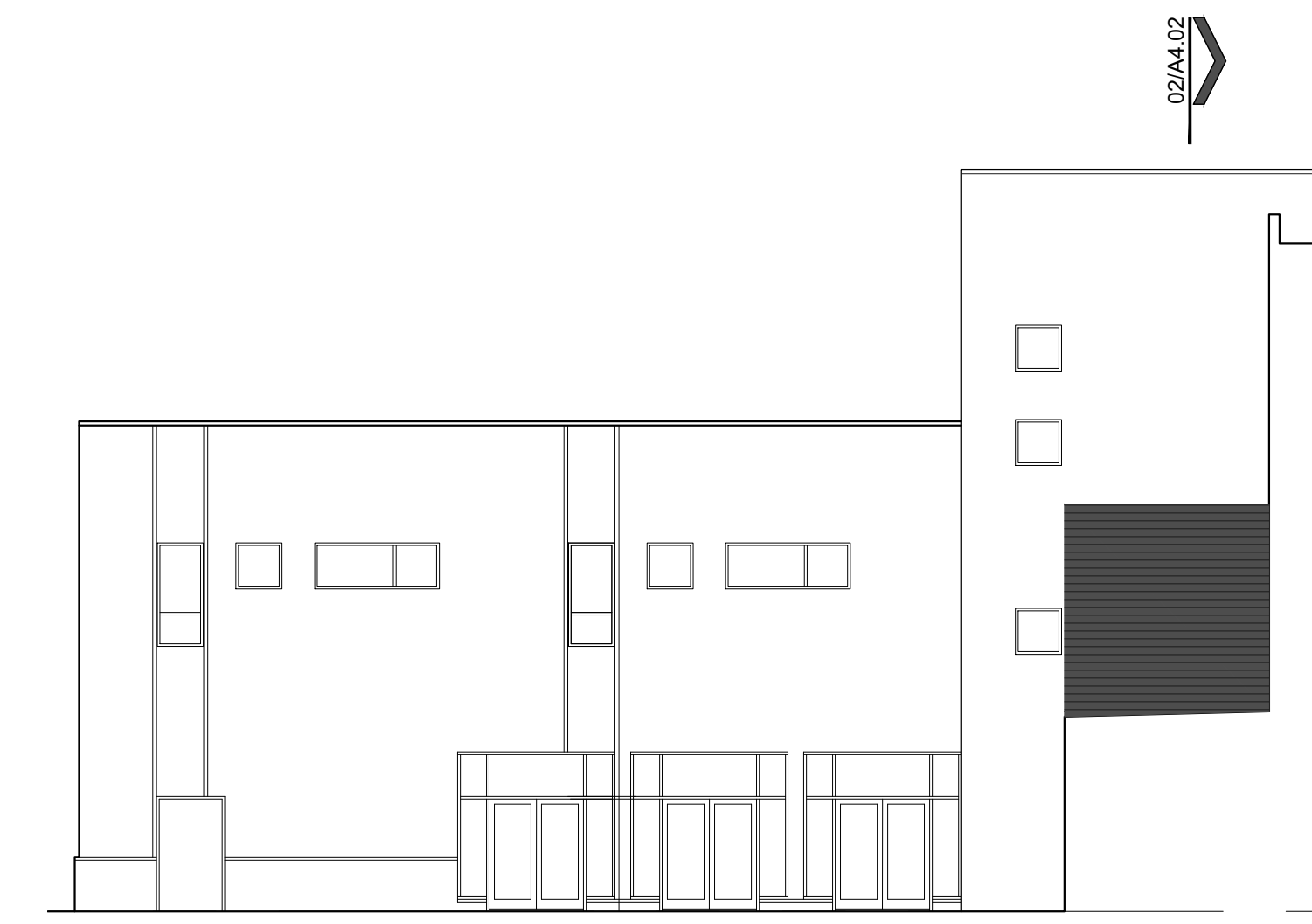


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 Drawn By: RN MA
 Job No: Exterior Envelope
 Sheet:

A3.01



01 WEST ELEVATION
 SCALE: 3/32" = 1'-0"



02 NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



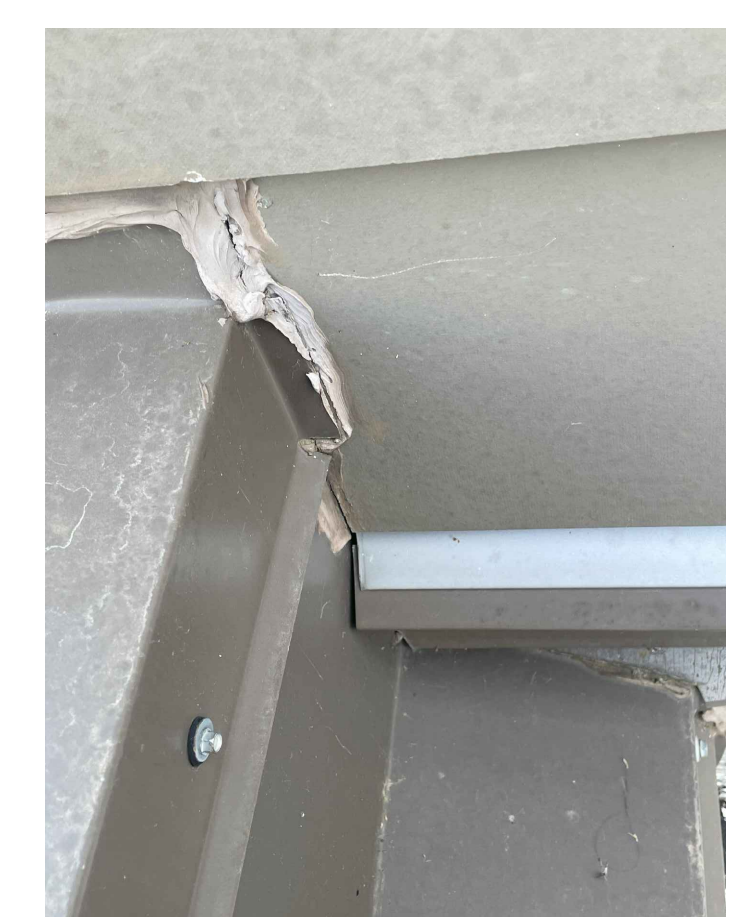
03 SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



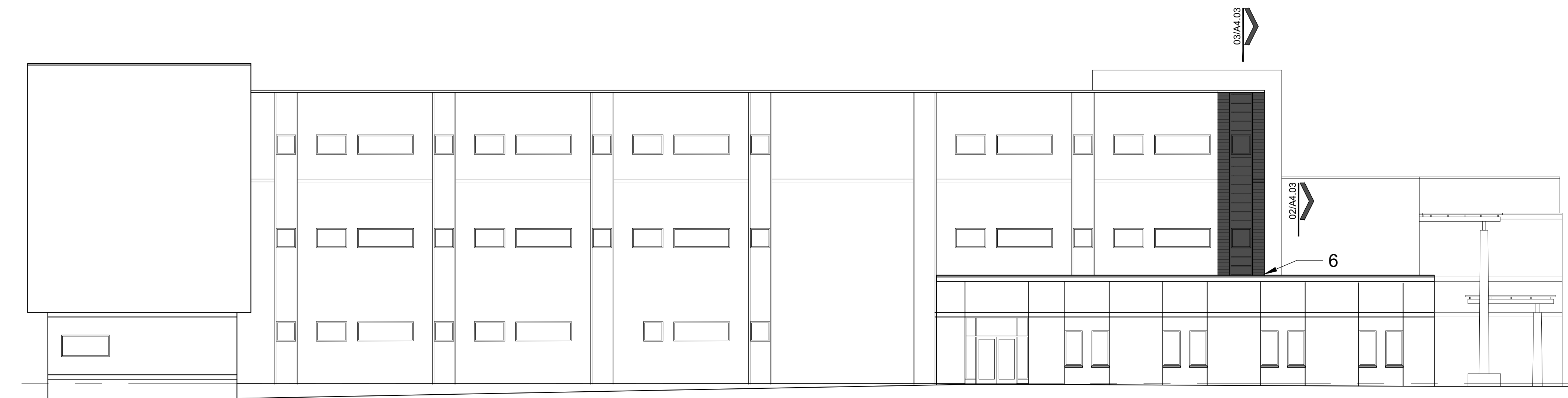
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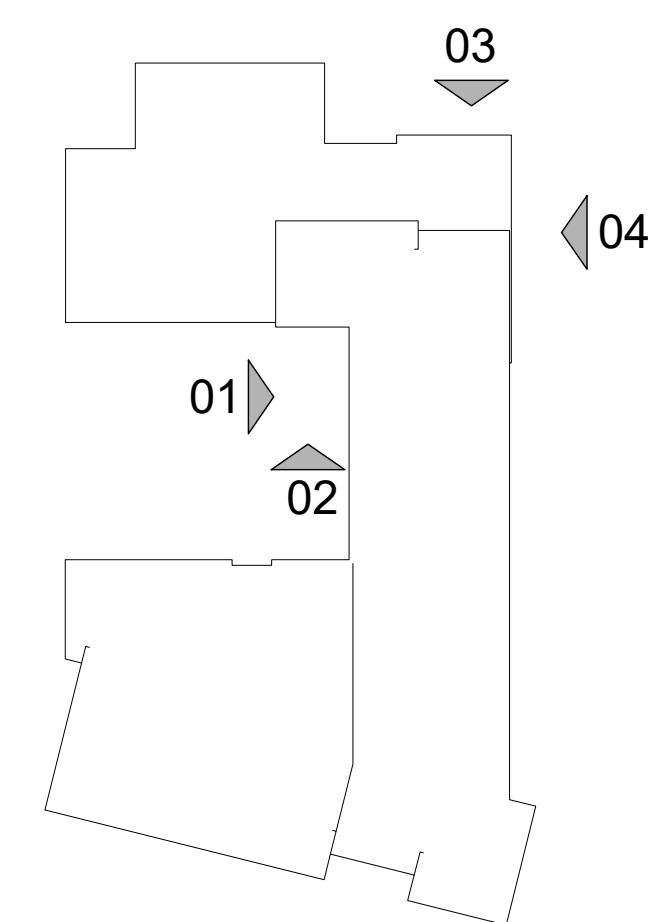
07



04 EAST ELEVATION
 SCALE: 3/32" = 1'-0"



08



COLLEGE PREP
KEY PLAN
 PLAN NORTH

SCOPE OF WORK:
 1. Remove siding at roof transition metal fascia at parapet.
 2. Inspect and repair flashing at parapet and cant transition.
 3. Water test windows roof transition.
 4. Where leaks are detected at windows, remove siding and install flashing membrane at window perimeter.
 5. Install backer rod and sealant at windows.
 6. Install cement siding and accessories.
 7. Paint to match existing.



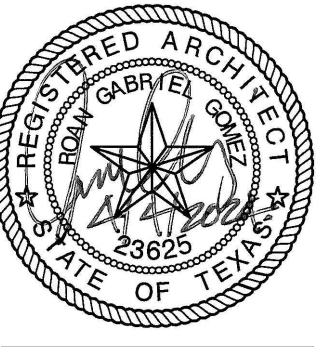
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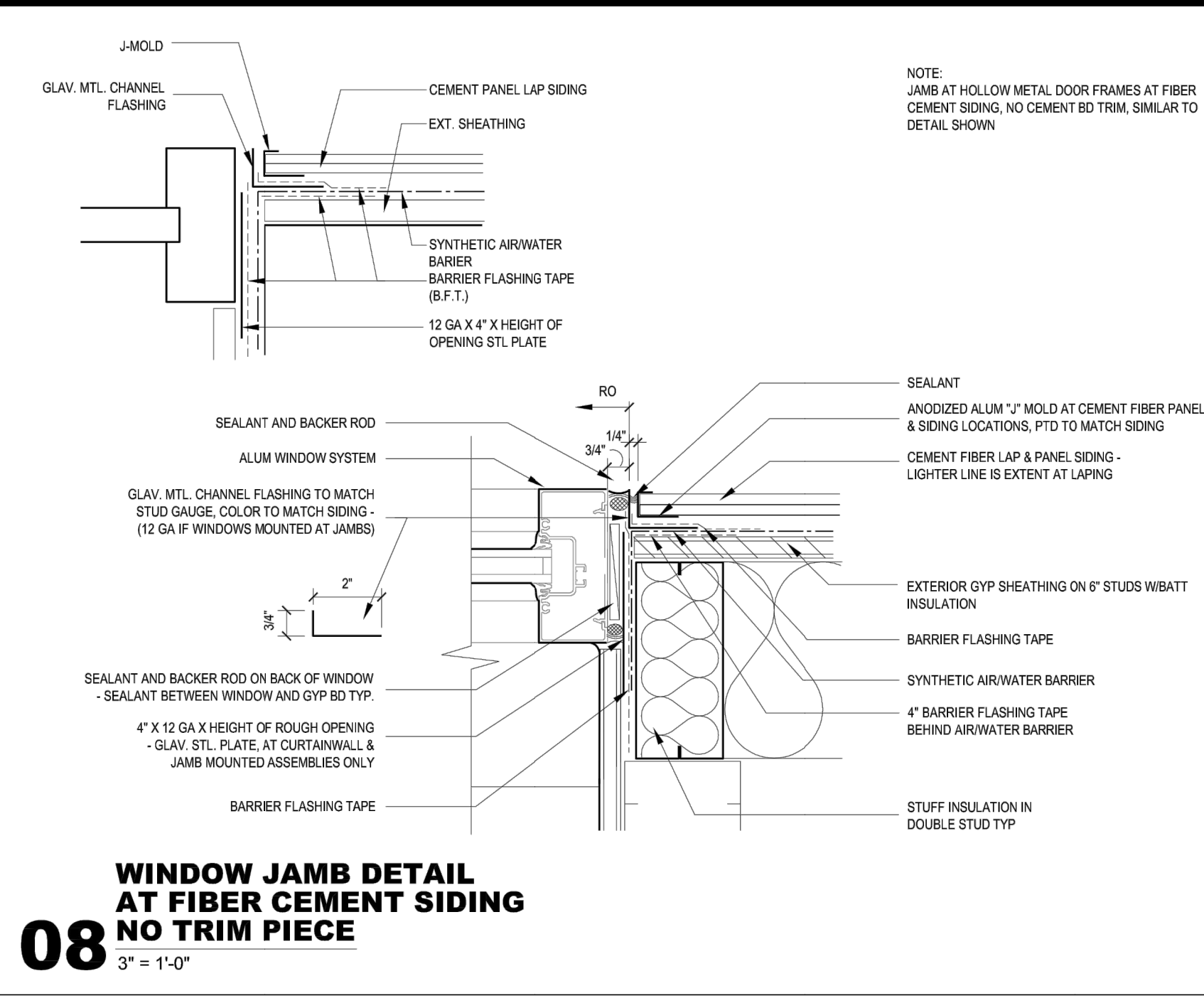


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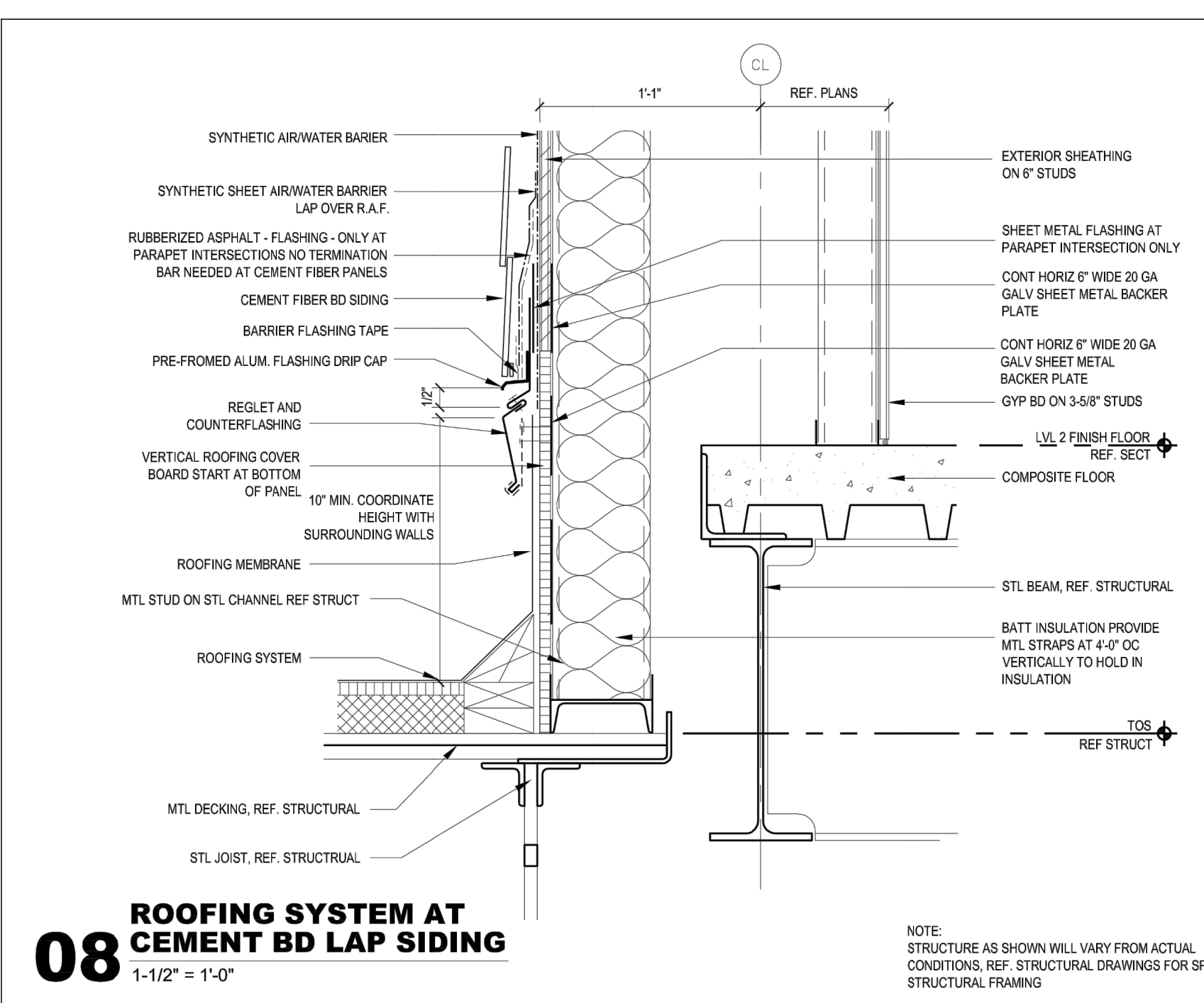


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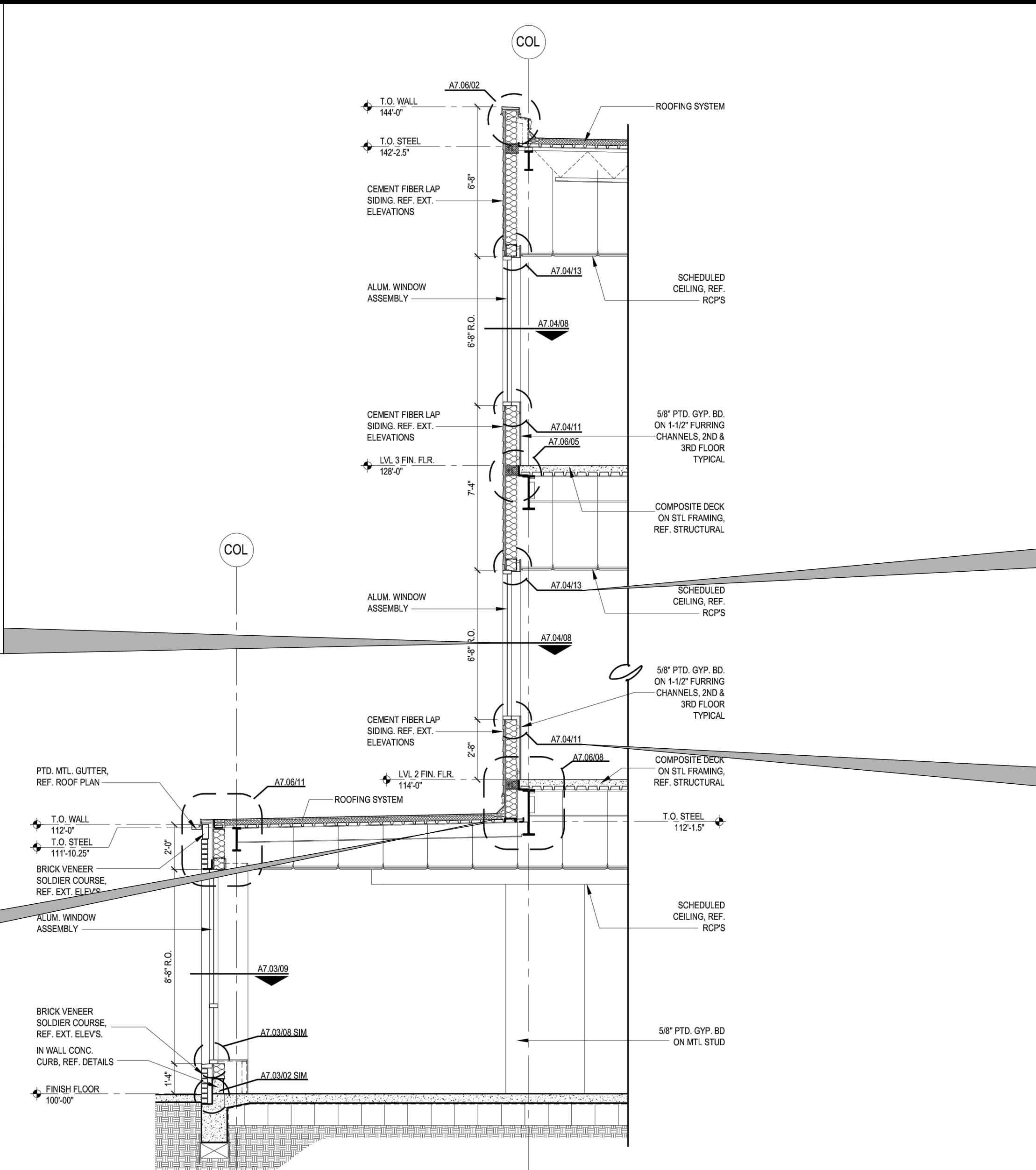




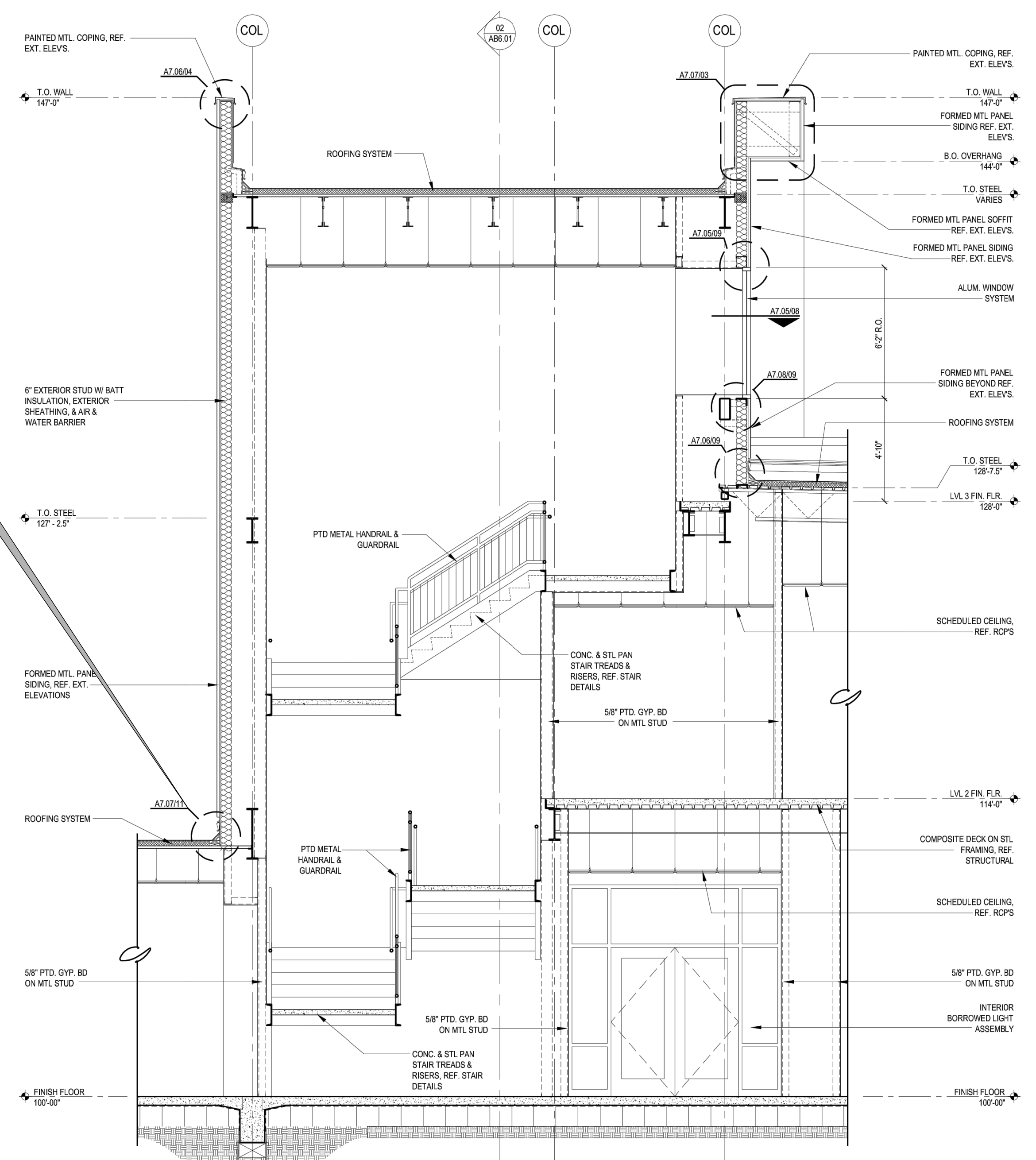
08 WINDOW JAMB DETAIL AT FIBER CEMENT SIDING NO TRIM PIECE
3" = 1'-0"



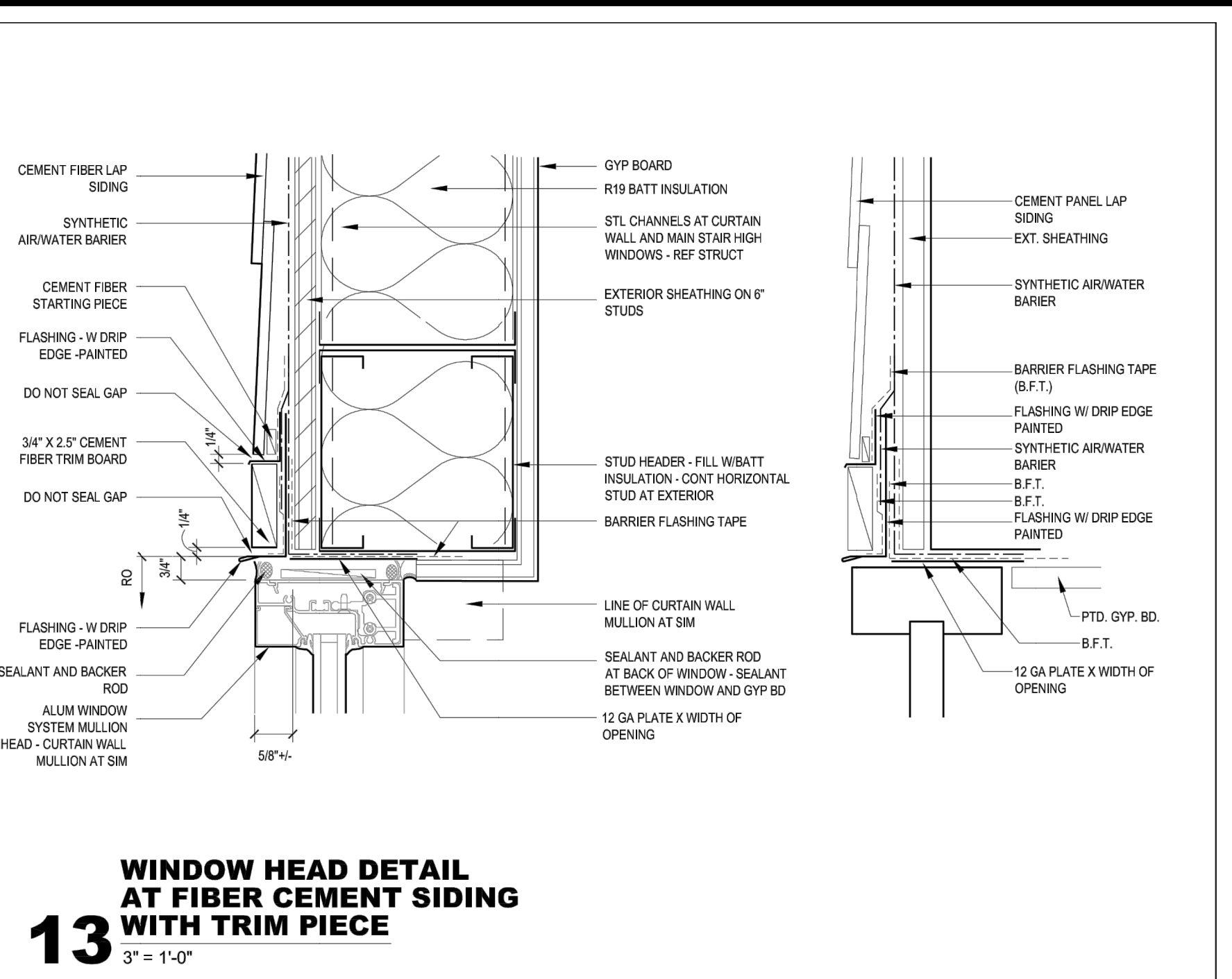
08 ROOFING SYSTEM AT CEMENT BD LAP SIDING
1'-1/2" = 1'-0"



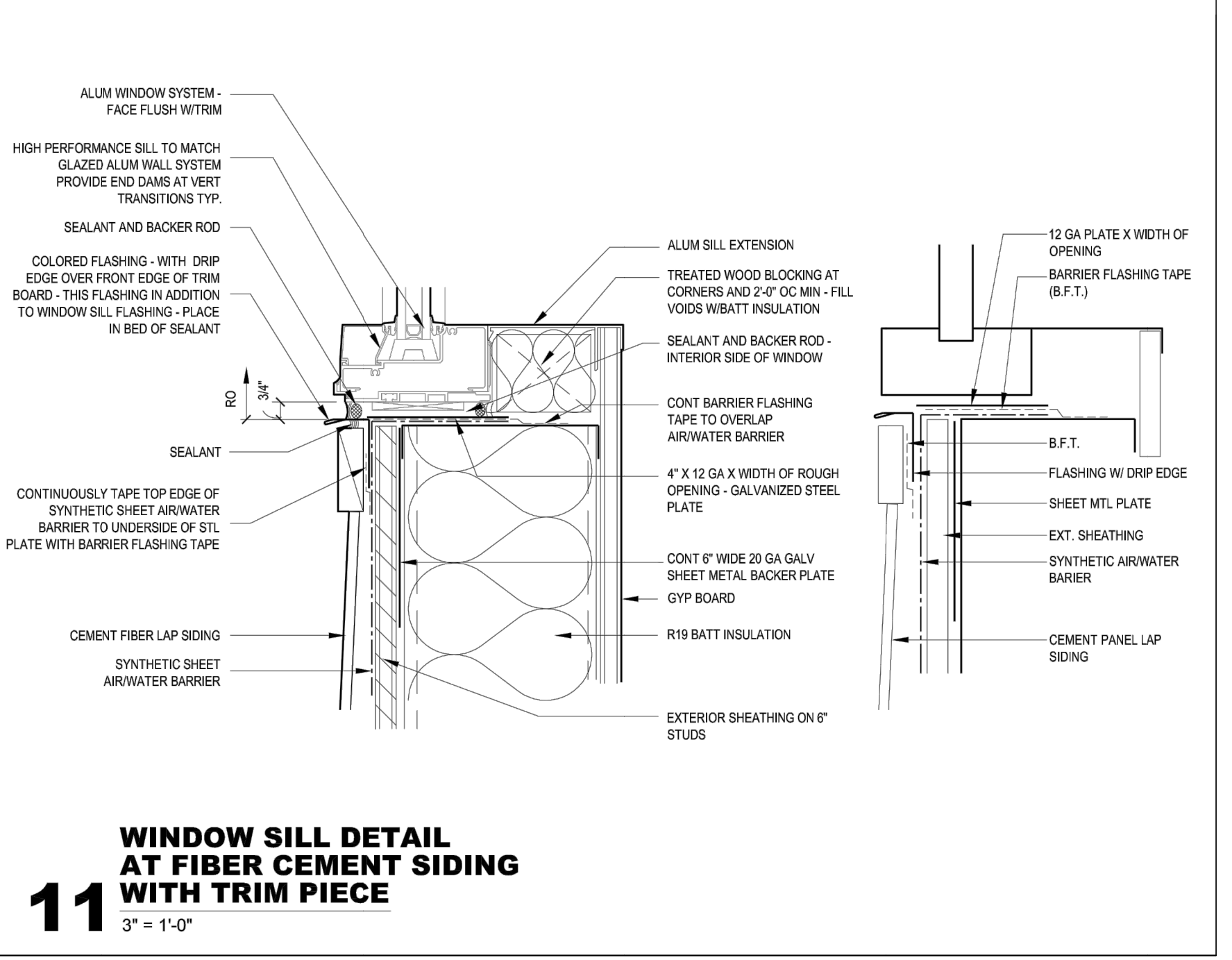
01 WALL SECTION
SCALE: 1/4" = 1'-0"



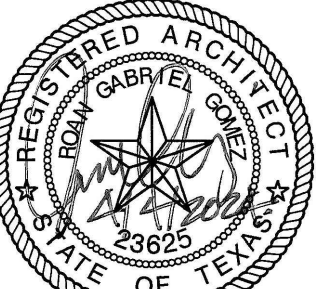
02 WALL SECTION
SCALE: 1/4" = 1'-0"



13 WINDOW HEAD DETAIL AT FIBER CEMENT SIDING WITH TRIM PIECE
3" = 1'-0"

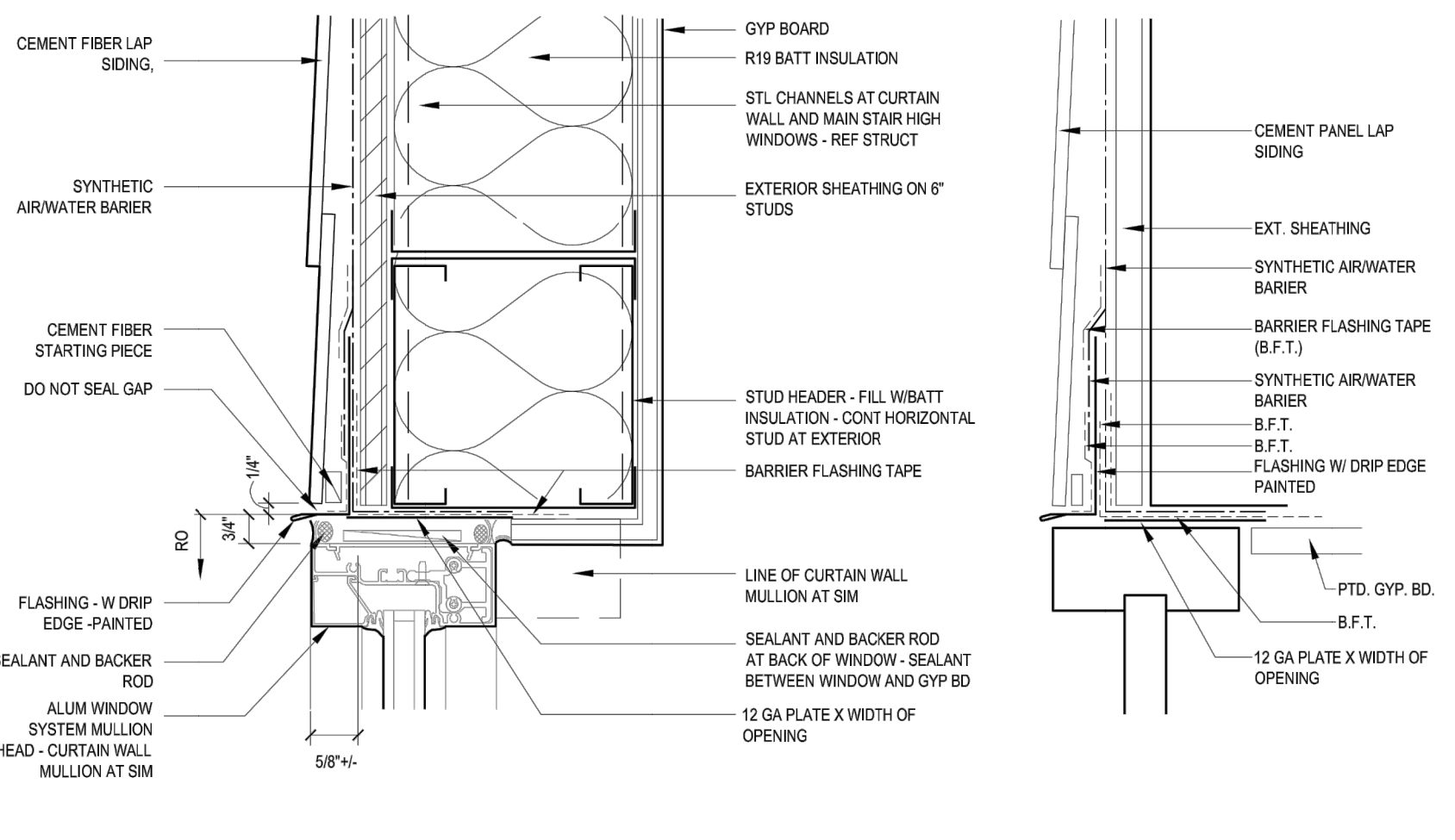


11 WINDOW SILL DETAIL AT FIBER CEMENT SIDING WITH TRIM PIECE
3" = 1'-0"

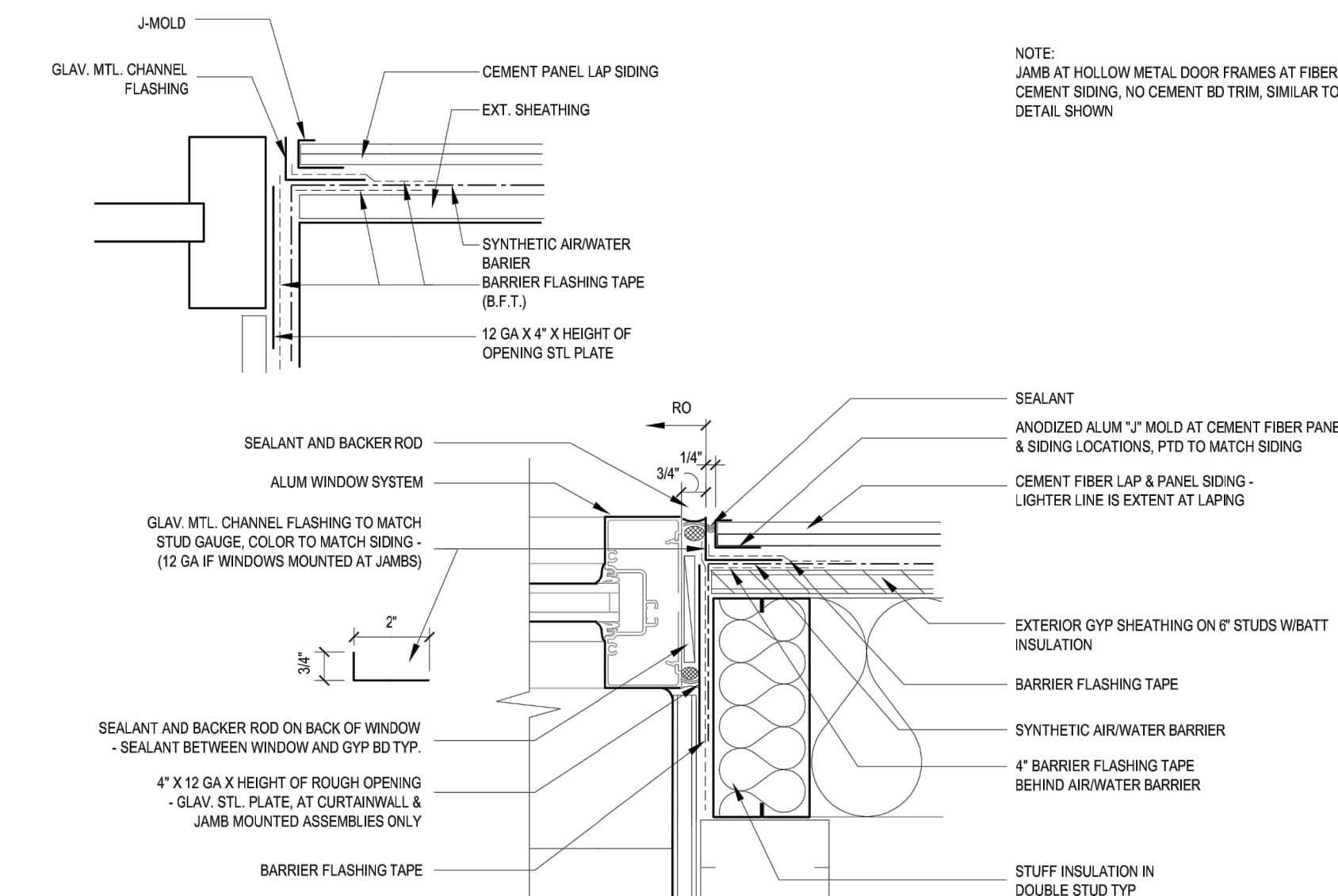


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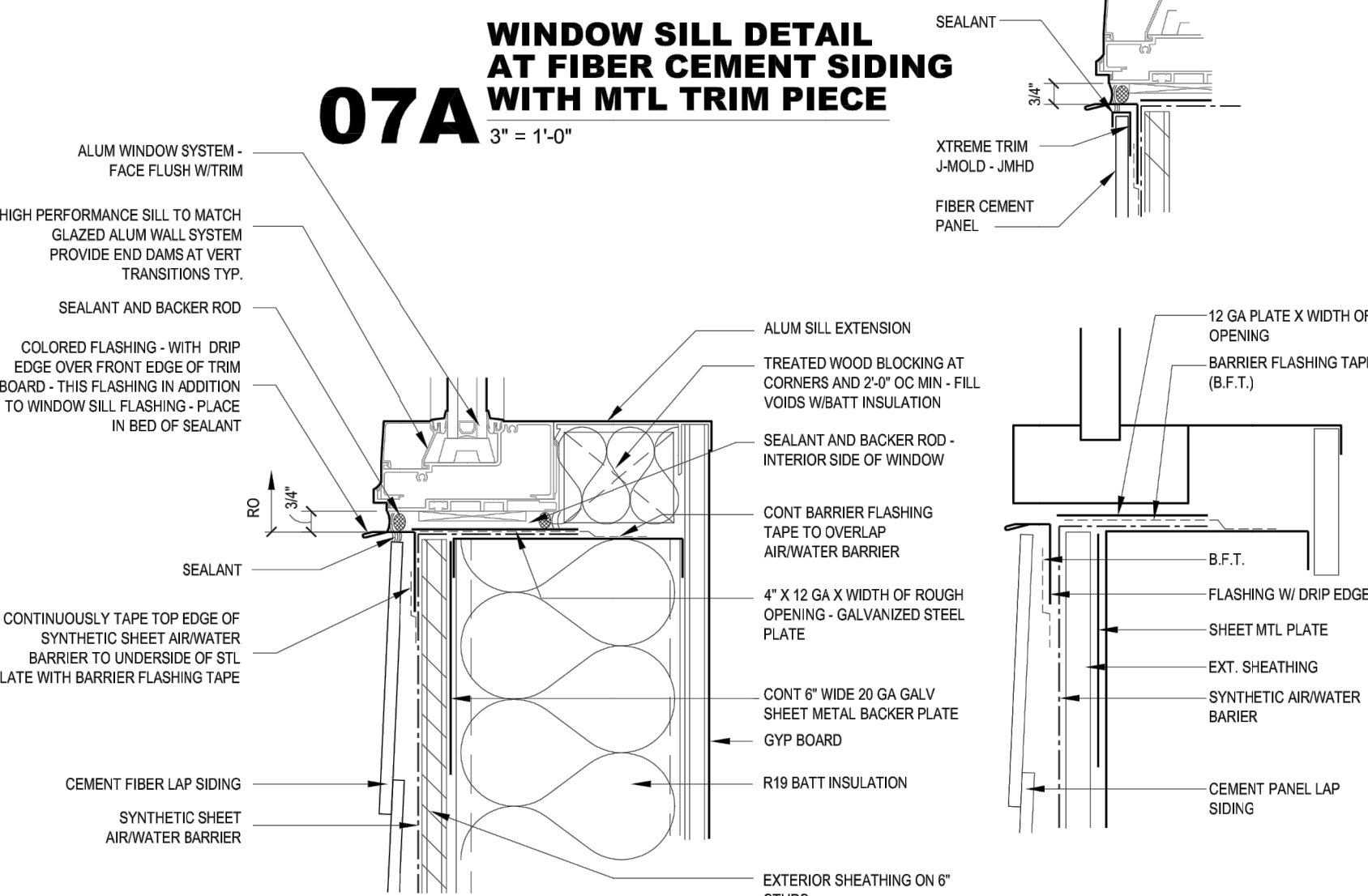
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Scale: As Noted
Project Architect: Roan Gomez, AIA
Drawn By: RN MA
Job No: Exterior Envelope
Sheet:



09 WINDOW HEAD DETAIL AT FIBER CEMENT SIDING NO TRIM PIECE
3" = 1'-0"



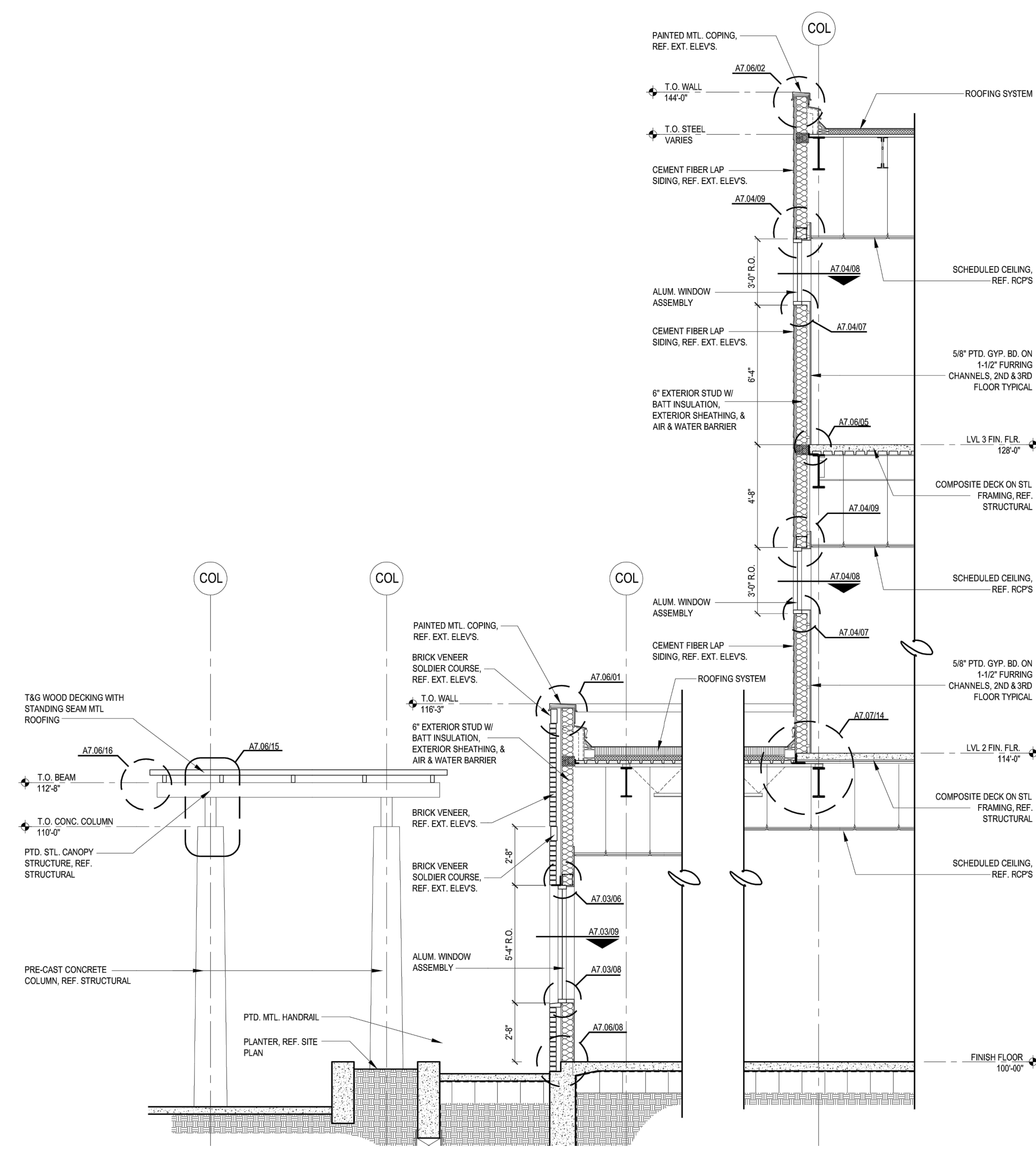
08 WINDOW JAMB DETAIL AT FIBER CEMENT SIDING NO TRIM PIECE
3" = 1'-0"



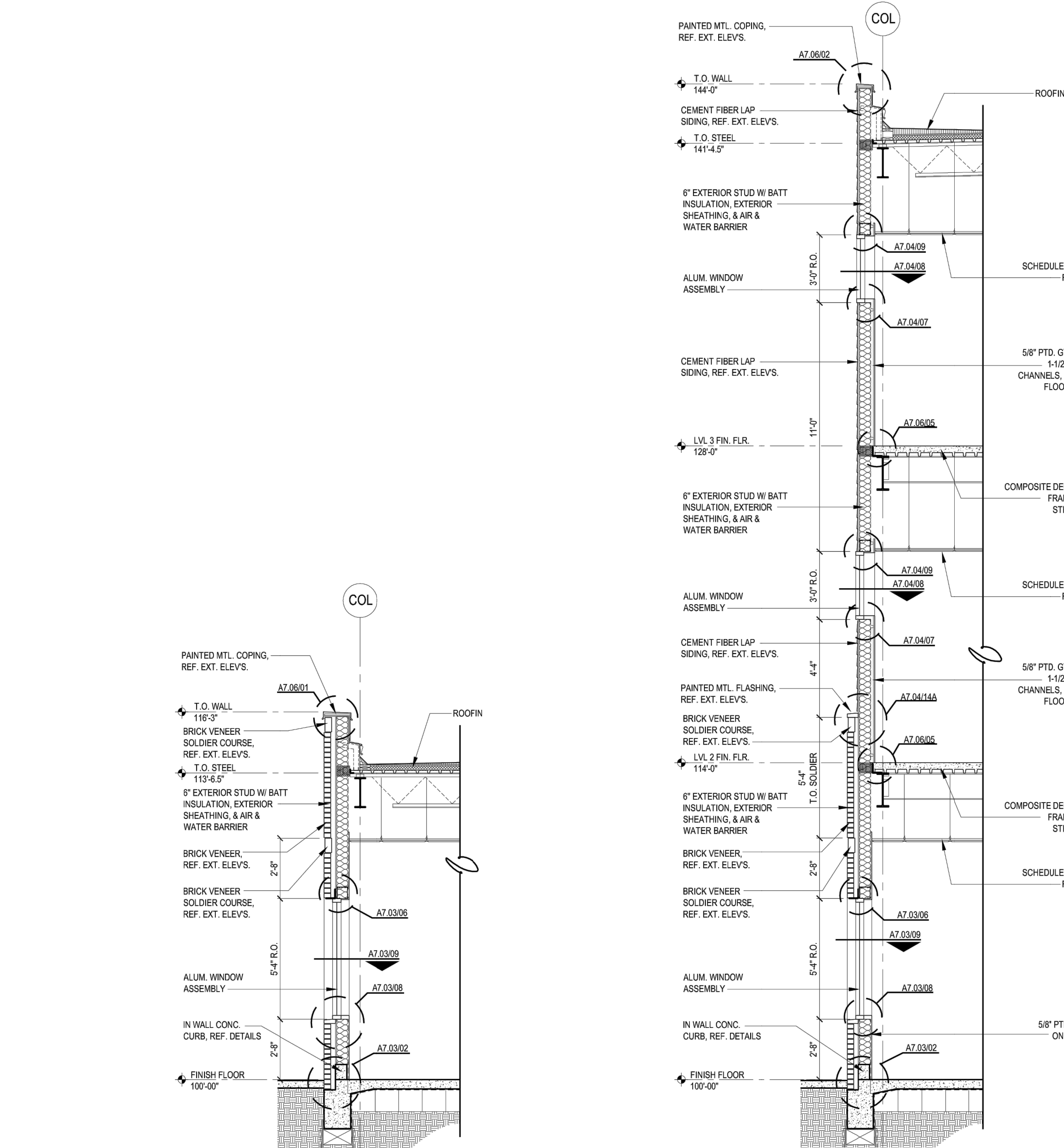
07 WINDOW SILL DETAIL AT FIBER CEMENT SIDING NO TRIM PIECE
3" = 1'-0"



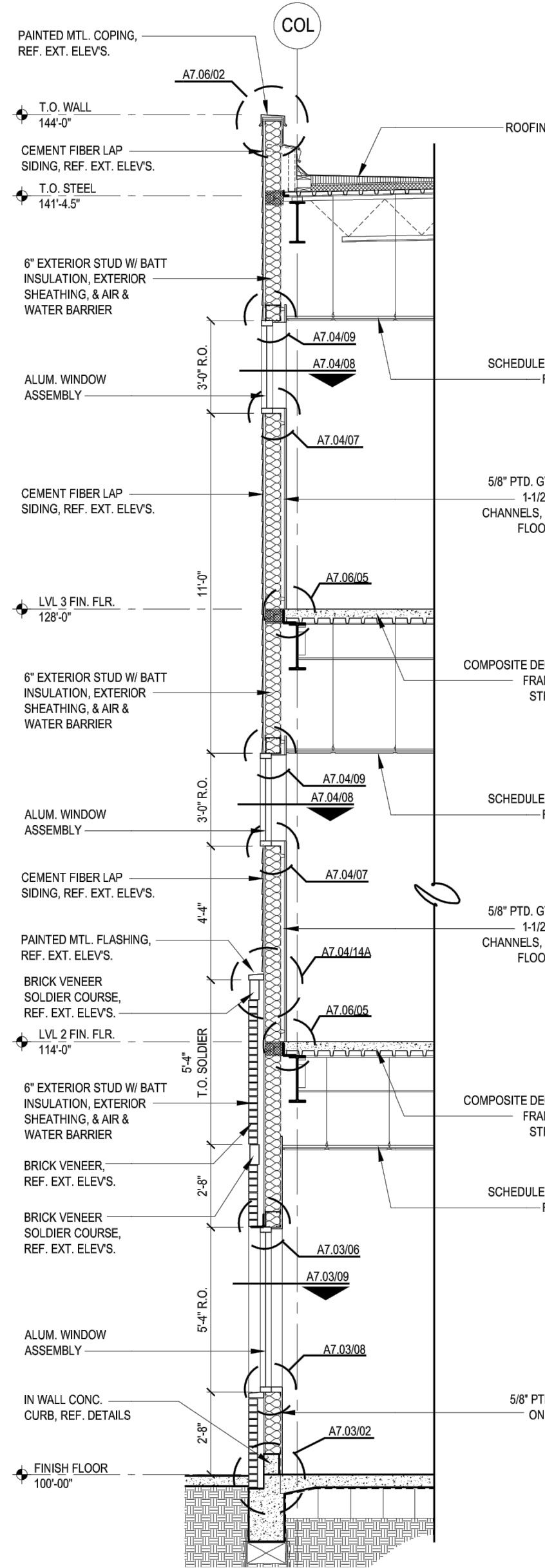
07A WINDOW SILL DETAIL AT FIBER CEMENT SIDING WITH MTL TRIM PIECE
3" = 1'-0"



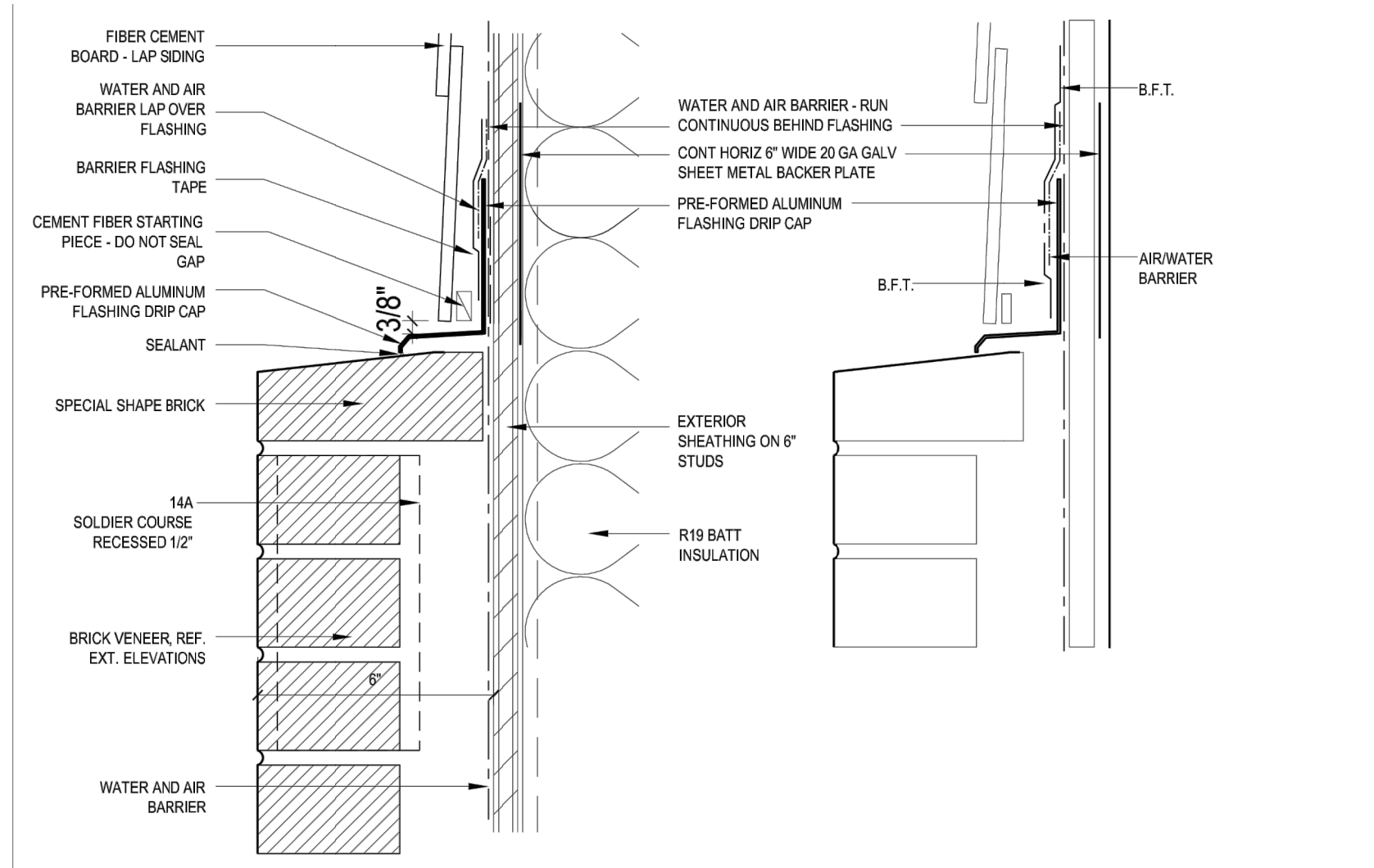
01 WALL SECTION
SCALE: 1/4" = 1'-0"



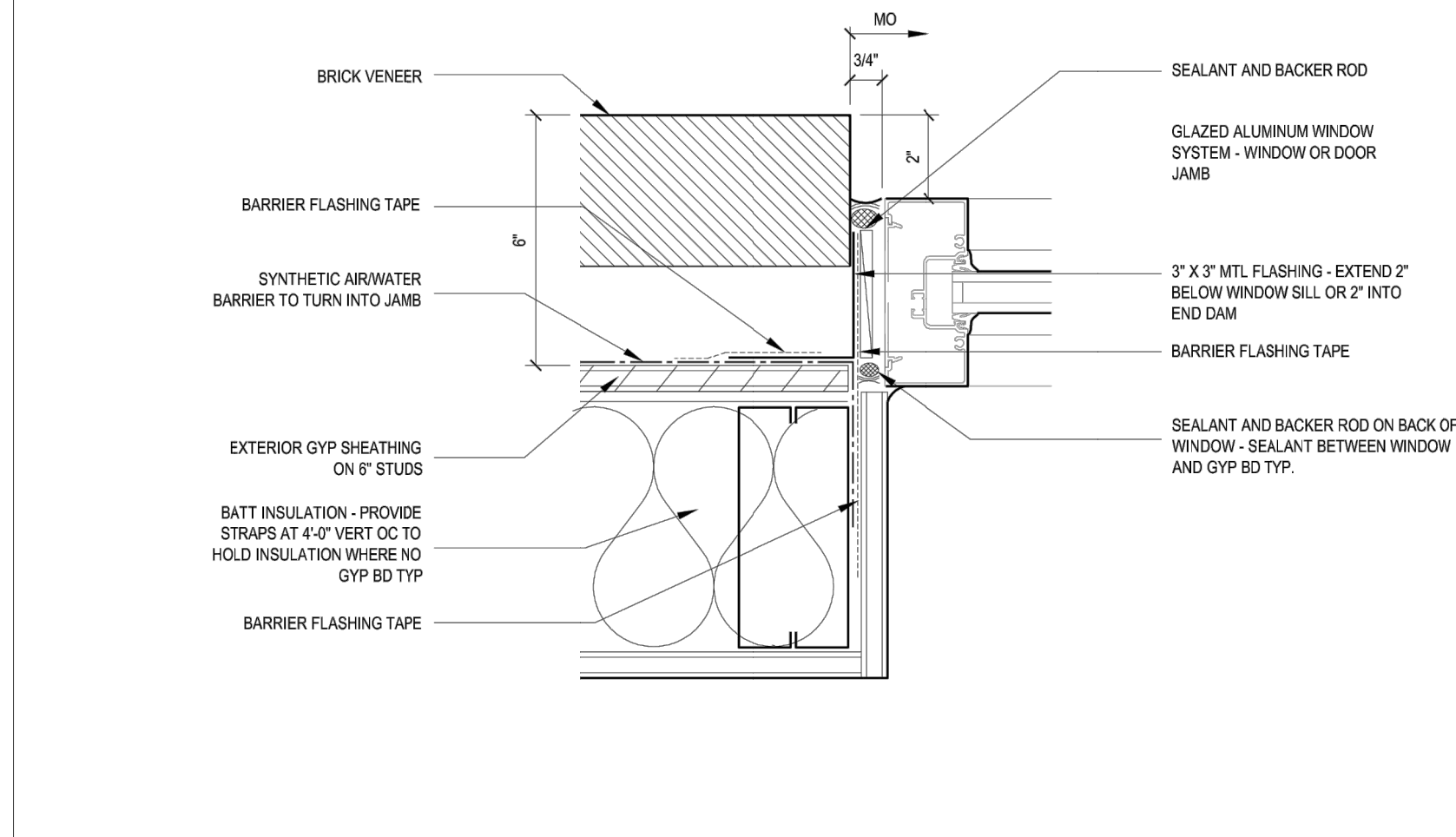
02 WALL SECTION
SCALE: 1/4" = 1'-0"



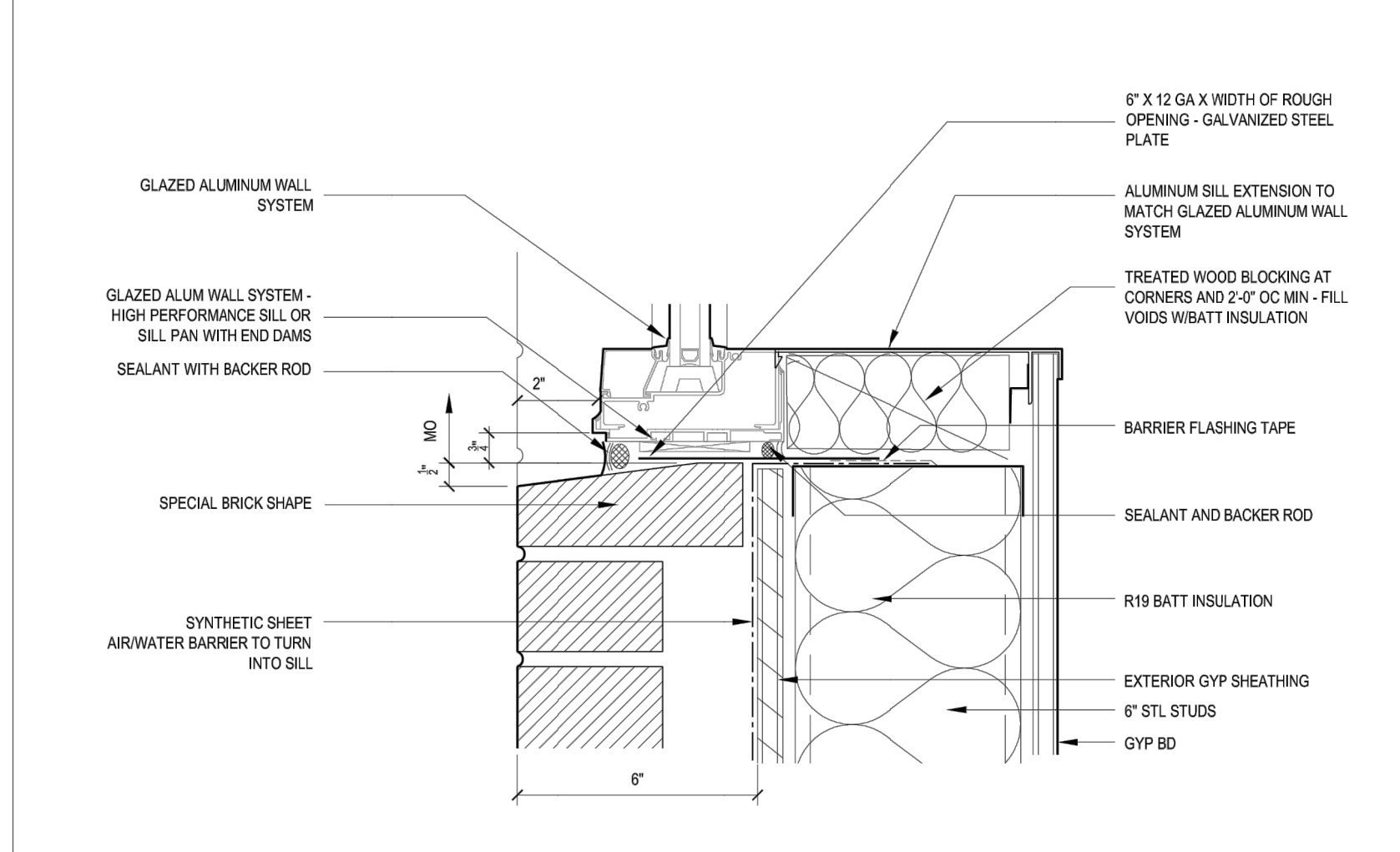
03 WALL SECTION
SCALE: 1/4" = 1'-0"



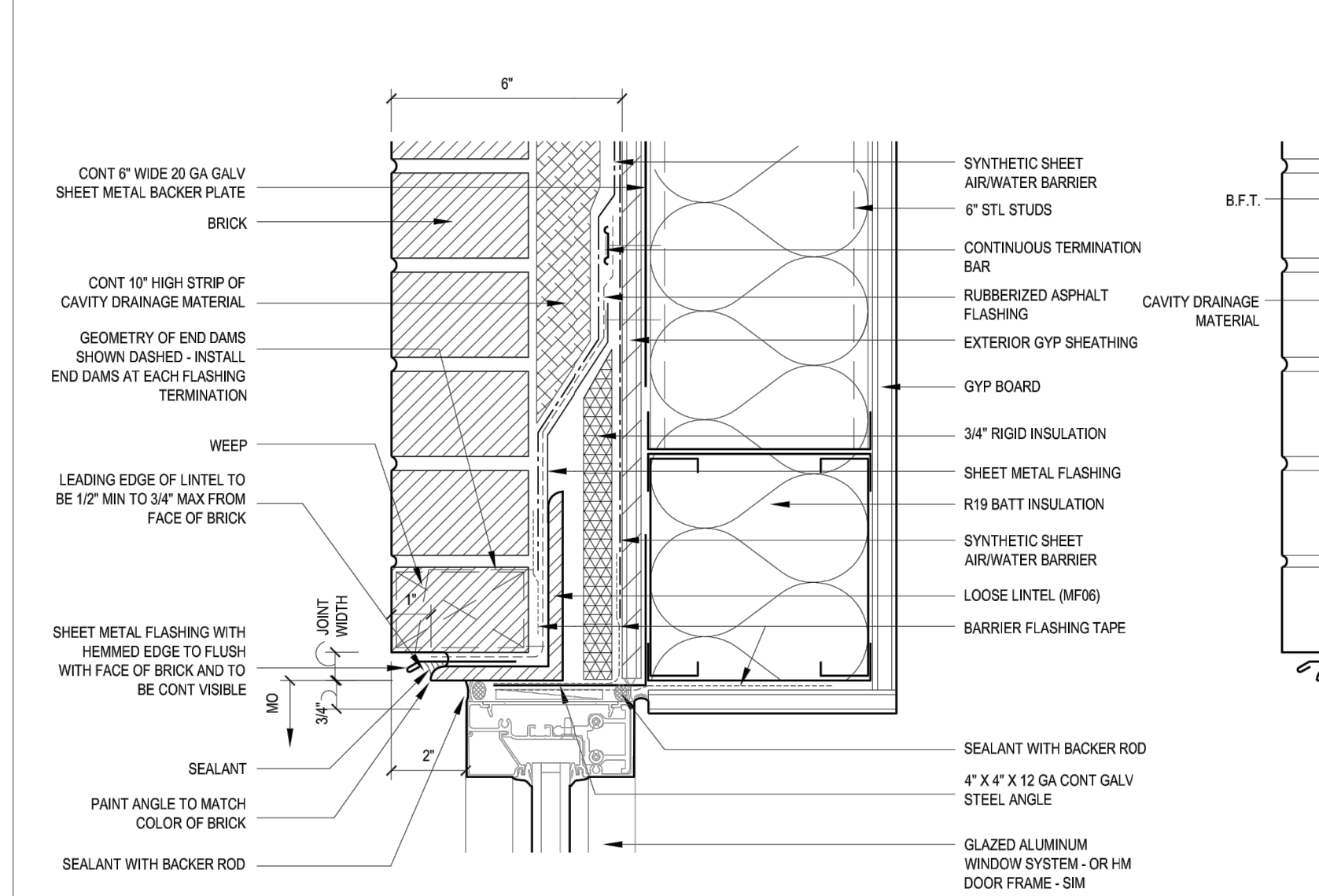
14/14A FIBER CEMENT LAP SIDING AND BRICK TRANSITION DETAIL
3" = 1'-0"



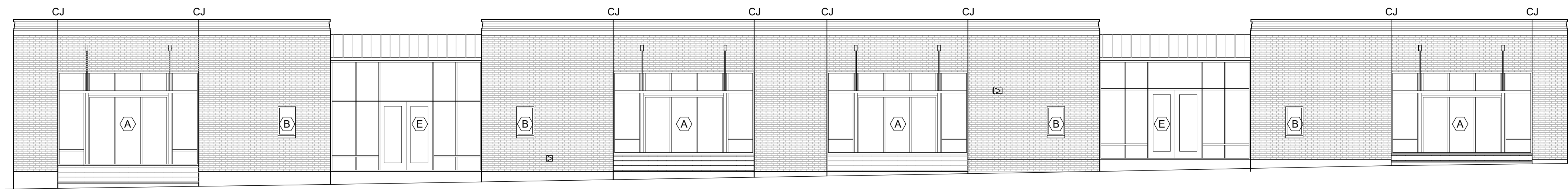
09 JAMB DETAIL AT ALL BRICK SURROUND
3" = 1'-0"



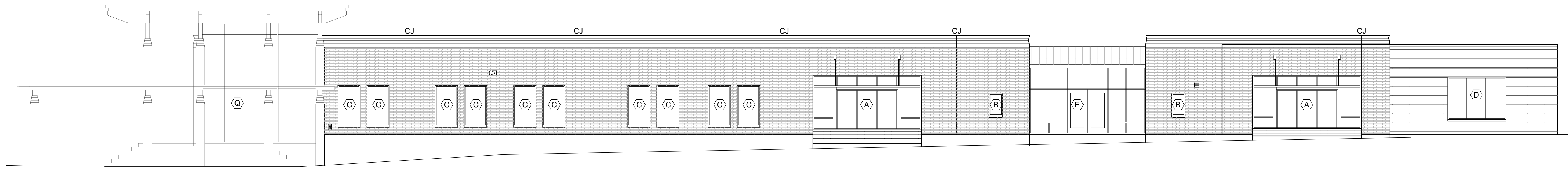
08 BRICK SURROUND SILL DETAIL AT GLAZED ALUMINUM WALL SYSTEM
3" = 1'-0"



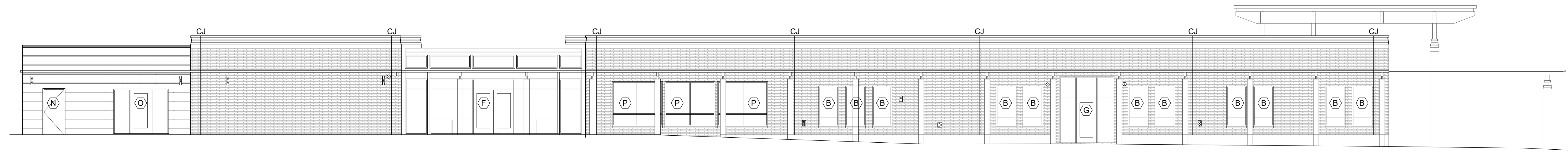
06 HEAD DETAIL AT ALUM WINDOW OR HM DOOR FRAME SIM AT BRICK - LOOSE LINTEL
3" = 1'-0"



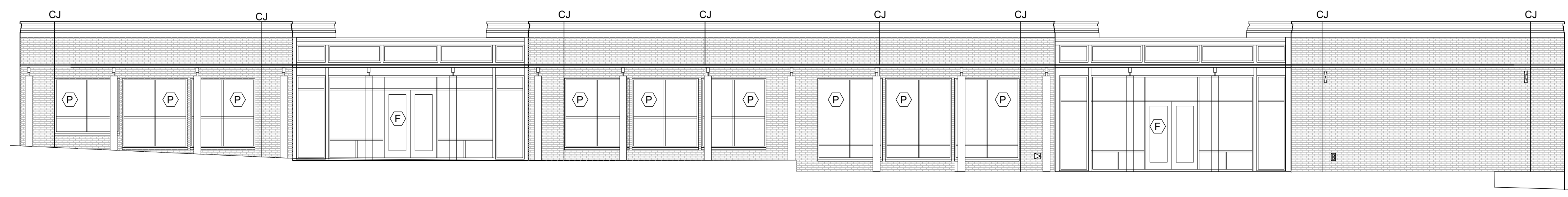
01 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



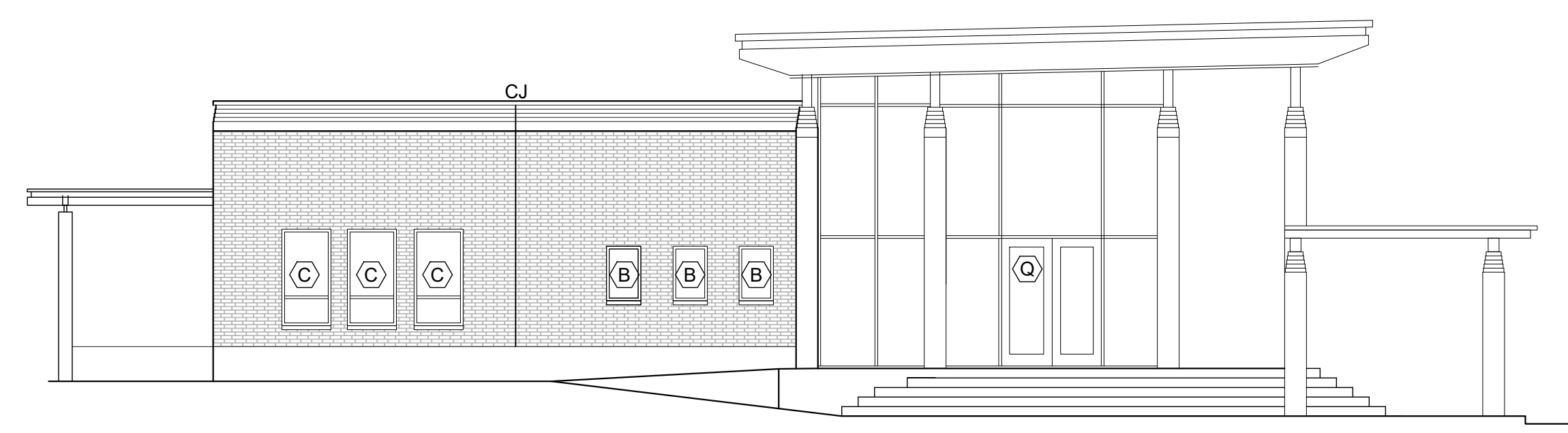
02 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



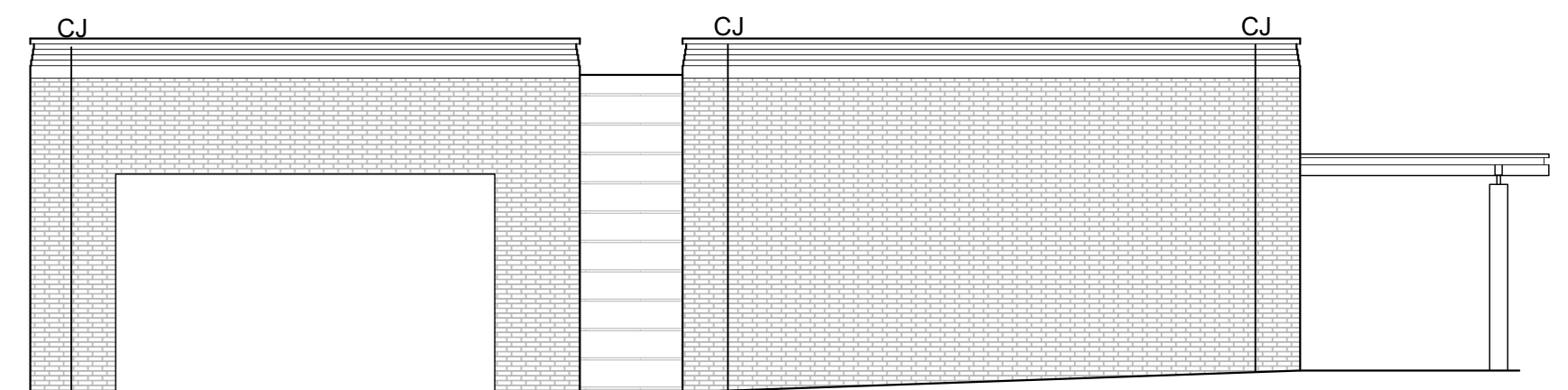
03 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



04 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



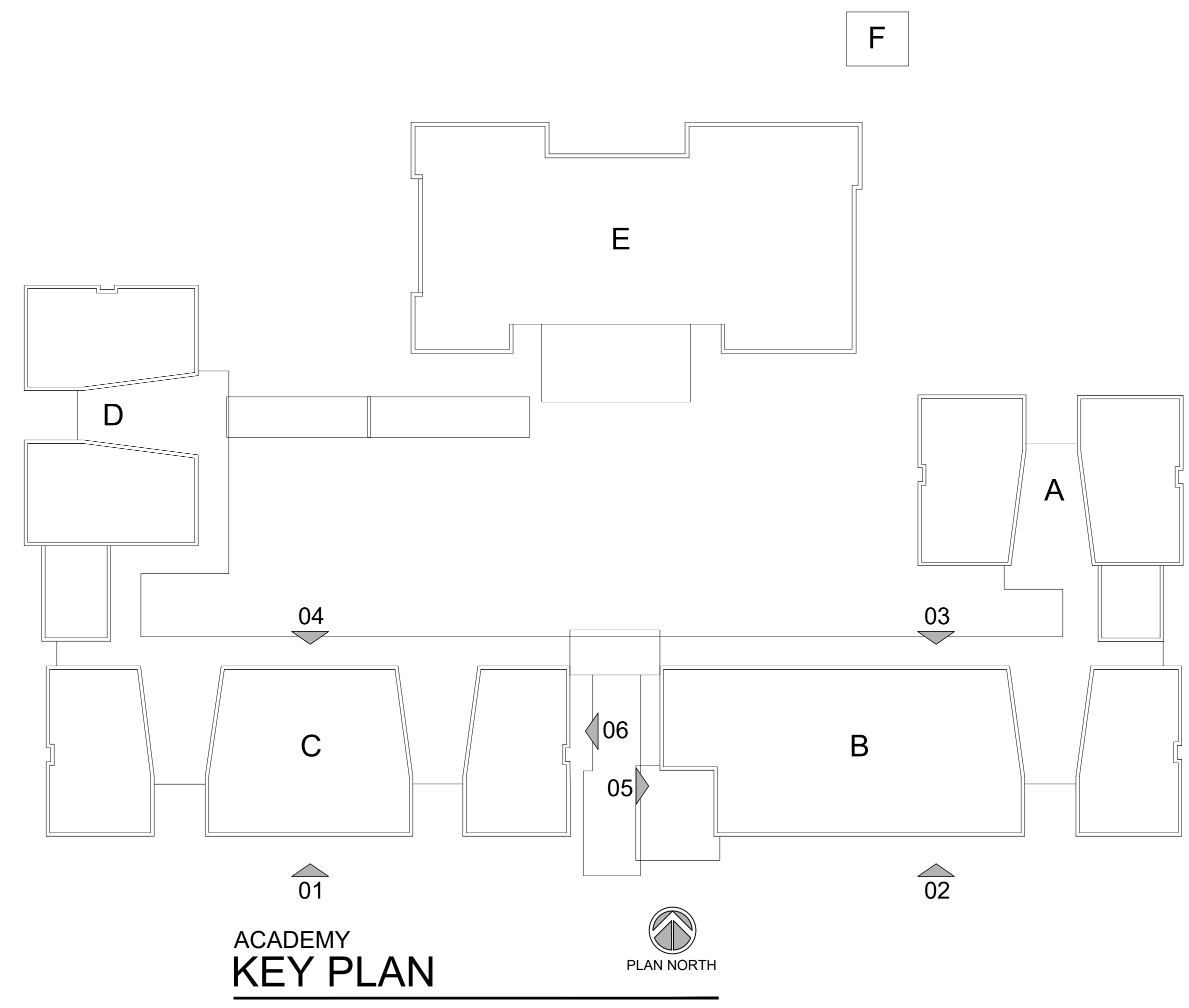
05 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



06 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

SCOPE OF WORK:
 1. Remove sealant at all exterior doors, windows and masonry control joints.
 2. Install backer rod and sealant at windows, doors and masonry control joints.
 3. Install door threshold at exterior doors.
 4. Remove fixtures and Seal all wall penetrations at electrical and plumbing fixtures.
 5. Refer to Sheet A6.01 for window / door elevations

- CAMERA
- ⌘ LIGHT FIXTURE
- Ⓜ ELECTRICAL OUTLET
- Ⓜ DATA OUTLET
- Ⓜ HORN
- Ⓜ SIREN
- Ⓜ WALL HYDRANT
- Ⓜ DOWNSPOUT

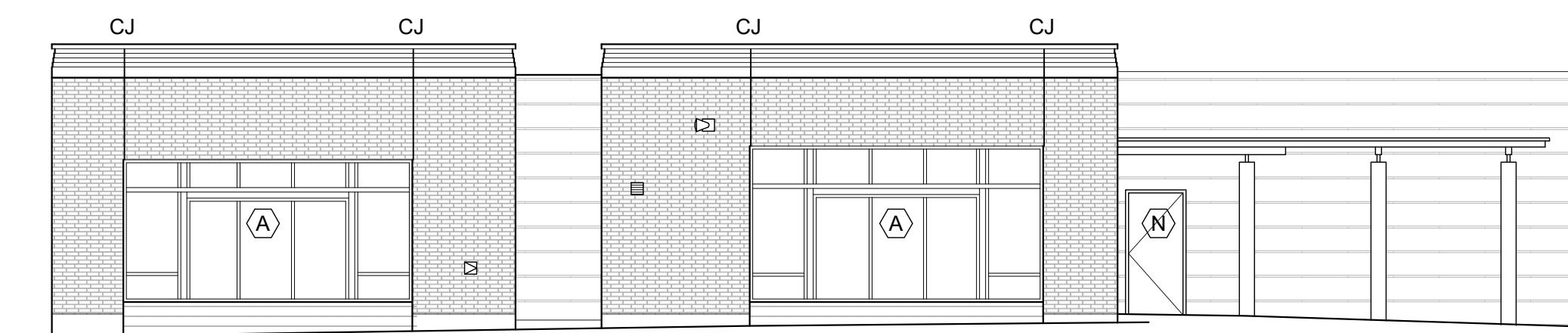


ACADEMY KEY PLAN





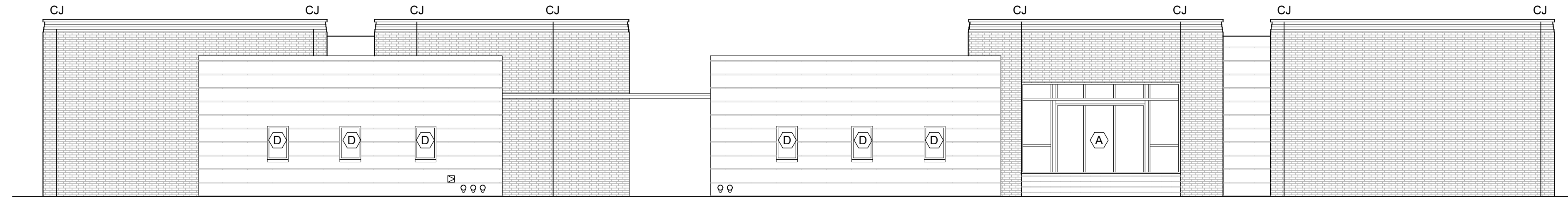
01 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



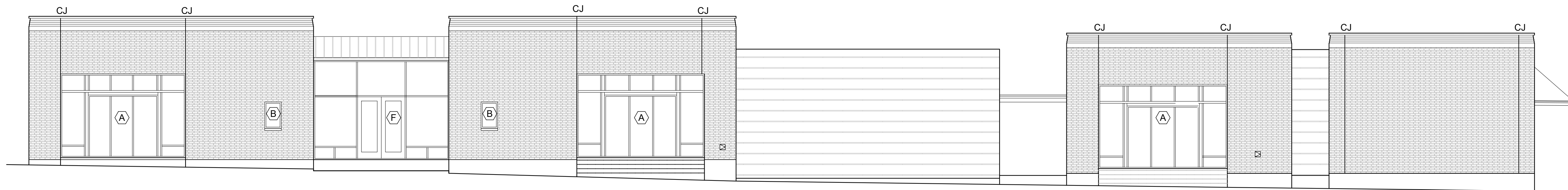
02 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



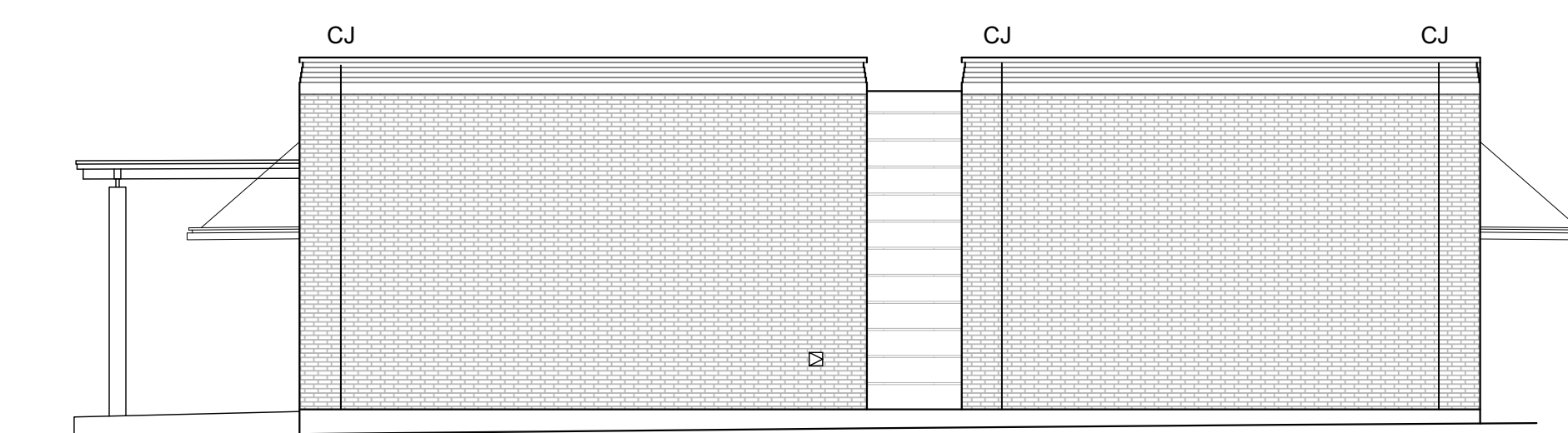
03 NORTH ELEVATION
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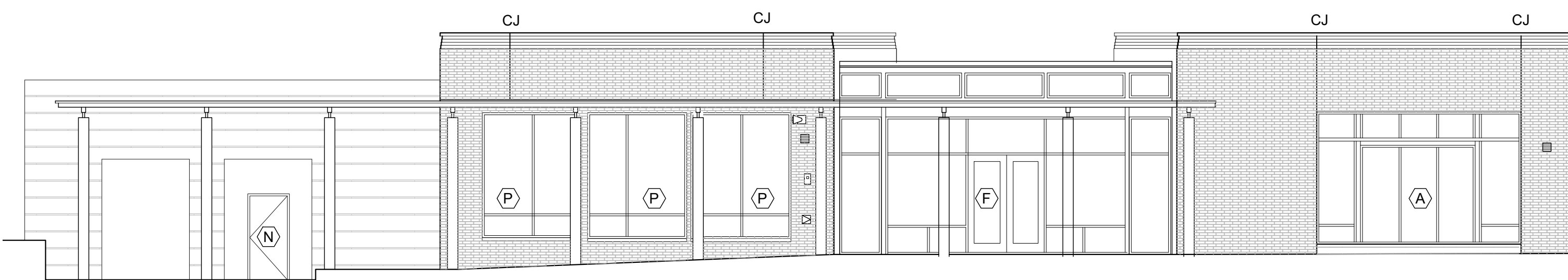
04 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



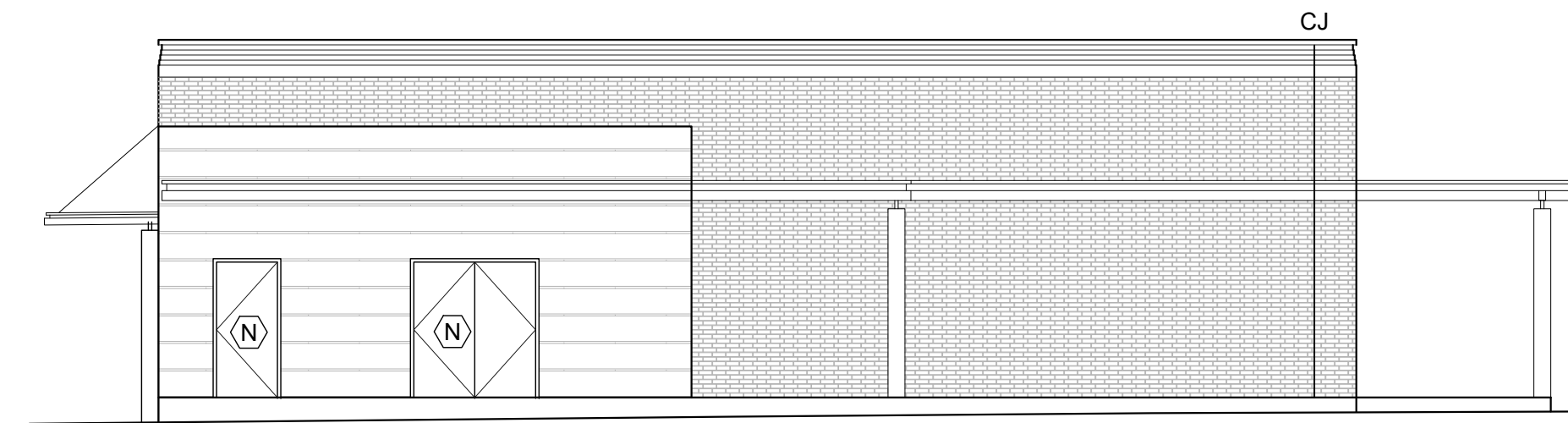
05 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



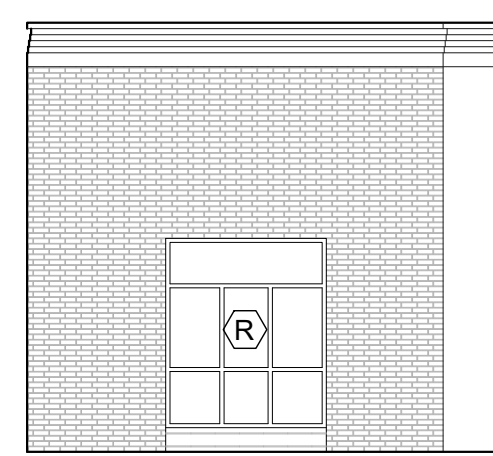
06 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



07 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



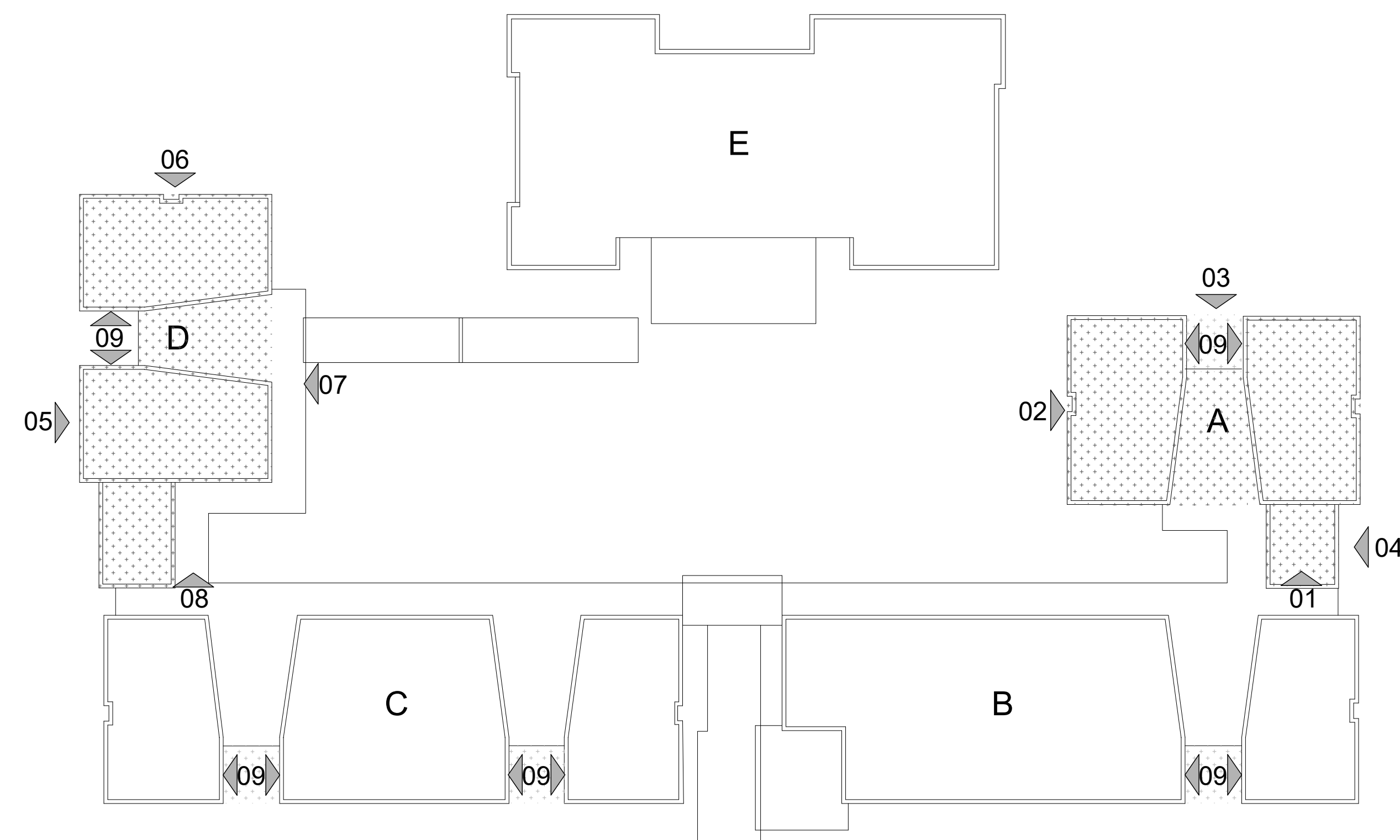
08 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



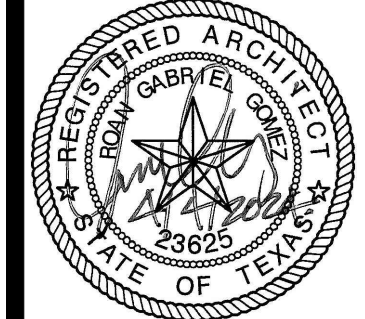
09 ELEVATION
 SCALE: 1/8" = 1'-0"

SCOPE OF WORK:
 1. Remove sealant at all exterior doors, windows and masonry control joints.
 2. Install backer rod and sealant at windows, doors and masonry control joints.
 3. Install door threshold at exterior doors.
 4. Remove fixtures and Seal all wall penetrations at electrical and plumbing fixtures.
 5. Refer to Sheet A6.01 for window / door elevations

- CAMERA
- LIGHT FIXTURE
- ELECTRICAL OUTLET
- DATA OUTLET
- HORN
- SIREN
- WALL HYDRANT
- DOWNSPOUT

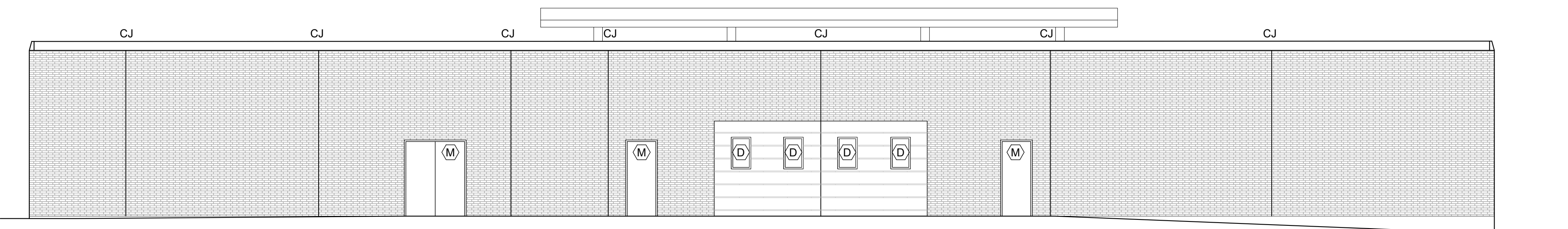


ACADEMY KEY PLAN

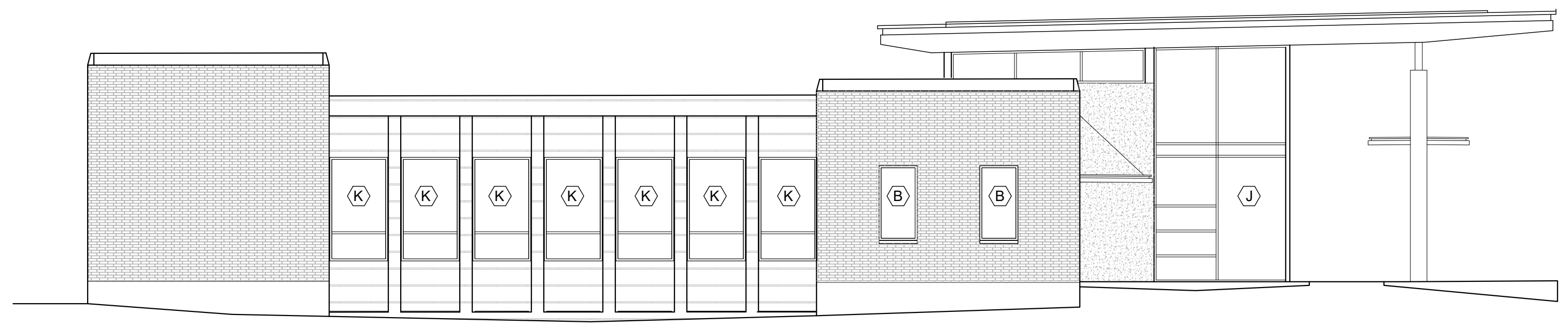




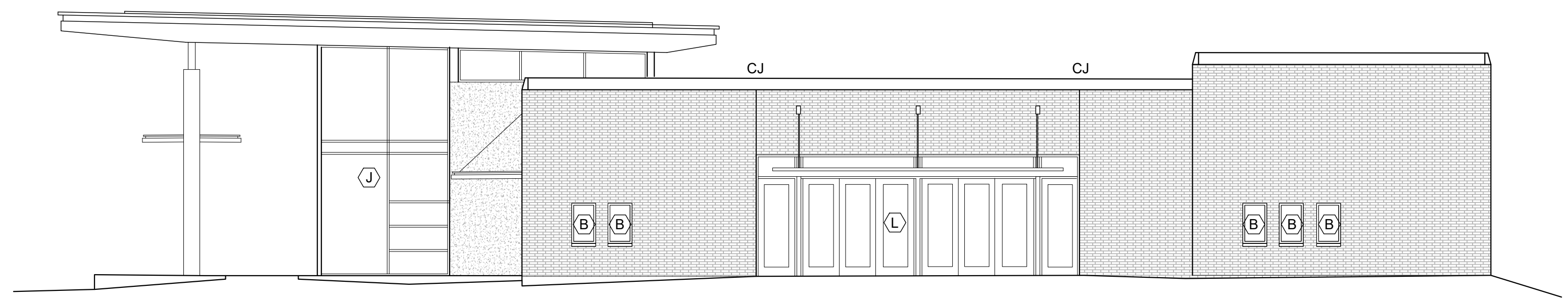
01 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



02 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



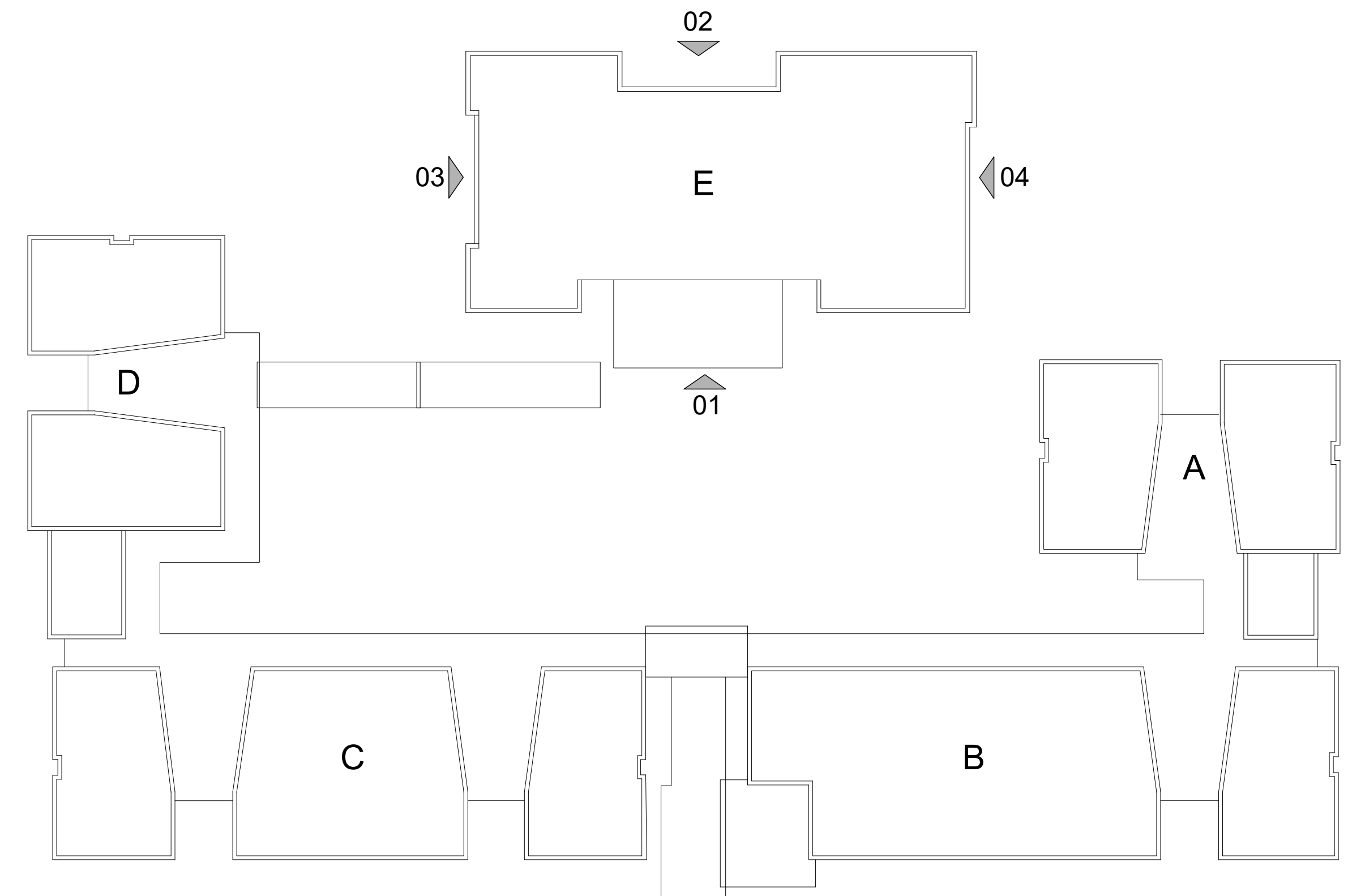
03 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



04 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

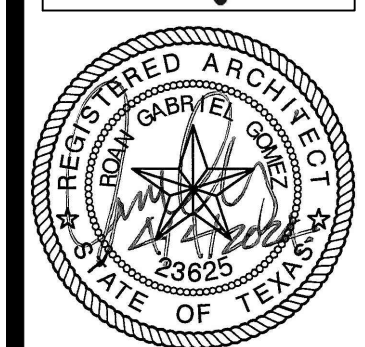
SCOPE OF WORK:
 1. Remove sealant at all exterior doors, windows and masonry control joints.
 2. Install backer rod and sealant at windows, doors and masonry control joints.
 3. Install door threshold at exterior doors.
 4. Remove fixtures and Seal all wall penetrations at electrical and plumbing fixtures.
 5. Refer to Sheet A6.01 for window / door elevations

- CAMERA
- LIGHT FIXTURE
- ELECTRICAL OUTLET
- DATA OUTLET
- HORN
- SIREN
- WALL HYDRANT
- DOWNSPOUT



ACADEMY KEY PLAN
 PLAN NORTH

IDEA Public Schools - Exterior Envelope Repairs
IDEA San Antonio Carver
 San Antonio, Texas
IDEA Public Schools



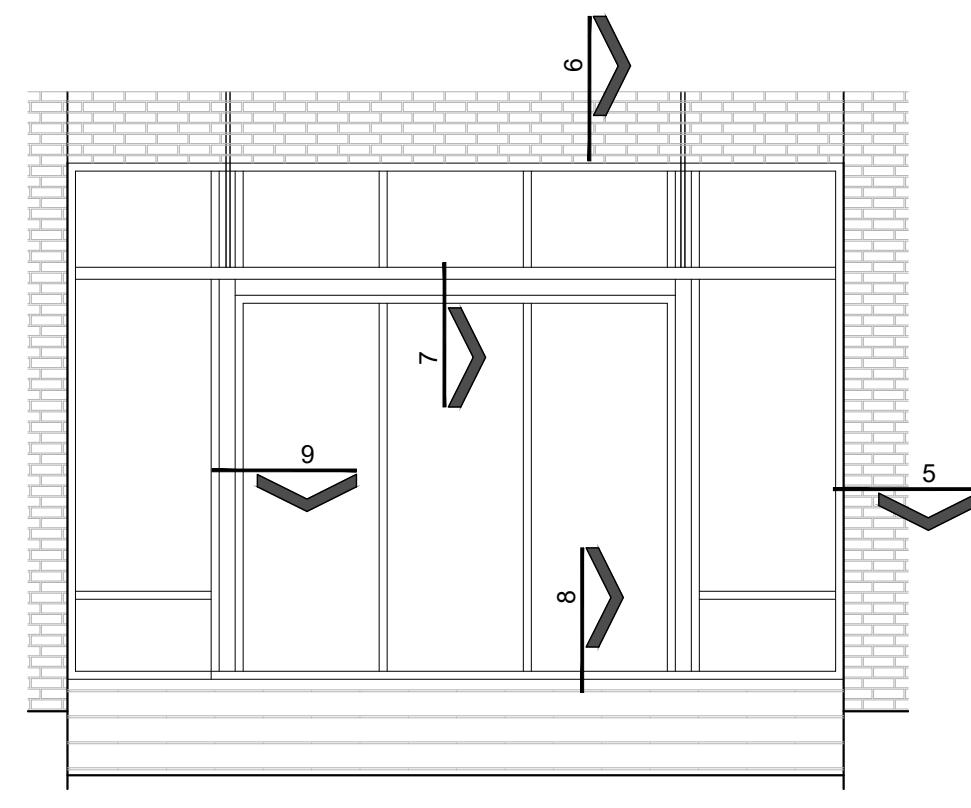
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 Interior Designers
 Date: MARCH 2024
 Scale: As Noted
 Project Architect: Roan Gomez, AIA
 Drawn By: RN MA
 Job No: Exterior Envelope
 Sheet:

A5.03

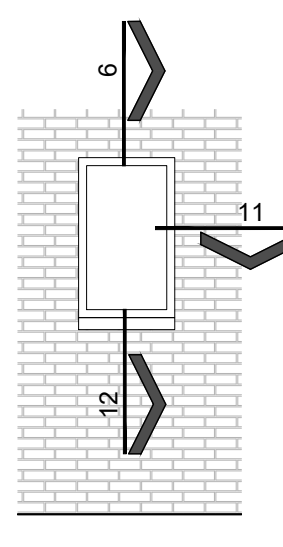
TYPICAL DOOR AND WINDOW ELEVATIONS

SCALE: 1/4" = 1'-0"

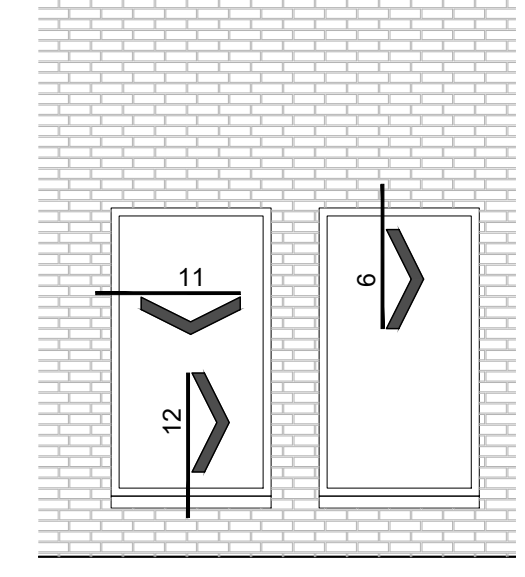
SCOPE OF WORK:
 1. Remove sealant at all exterior doors, windows and masonry control joints.
 2. Install backer rod and sealant at windows, doors and masonry control joints.
 3. Install door threshold at exterior doors.
 4. Remove fixtures and Seal all wall penetrations at electrical and plumbing fixtures.
 5. Refer to Sheet A6.01 for window / door elevations



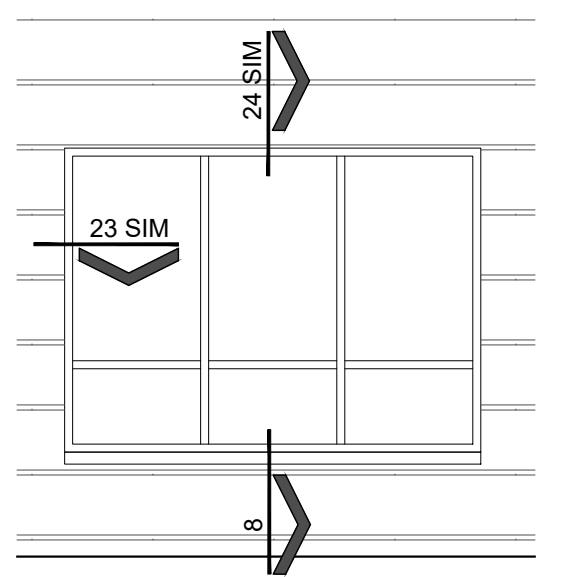
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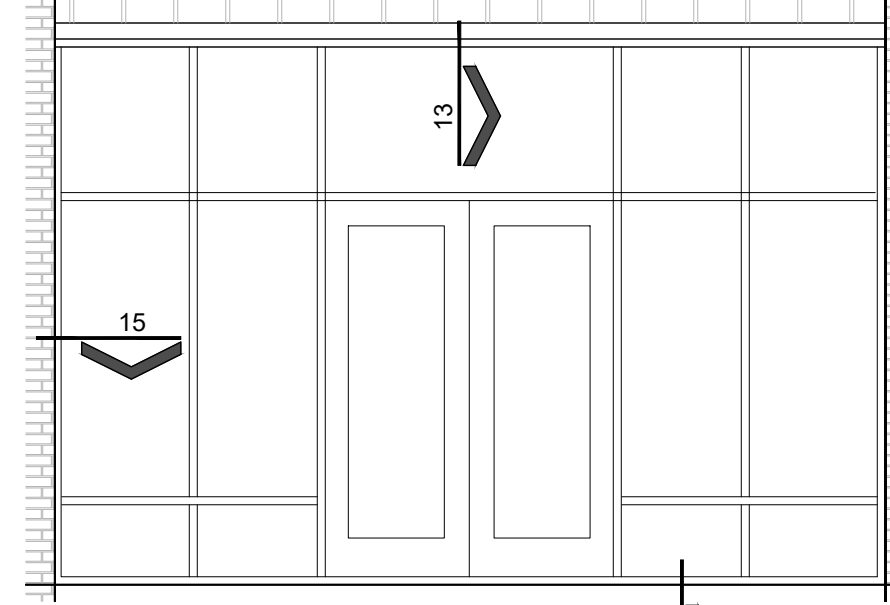
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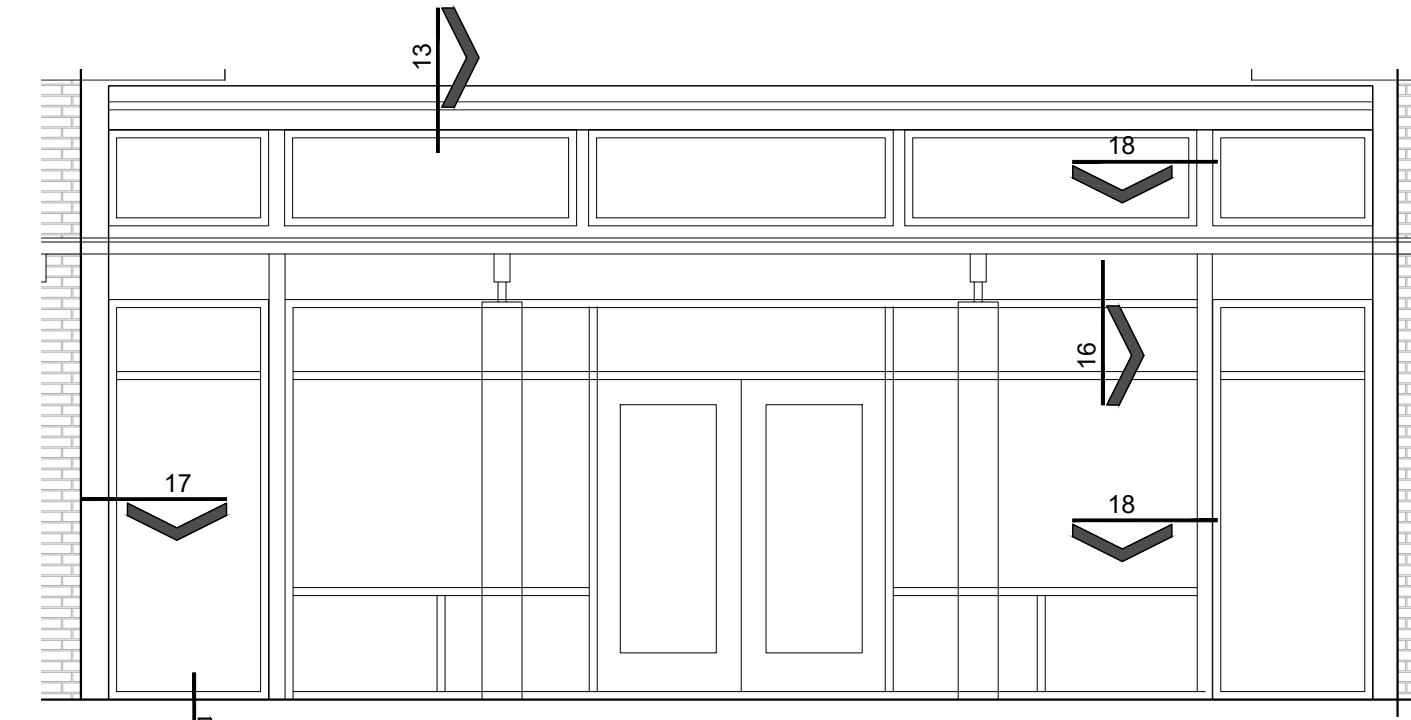
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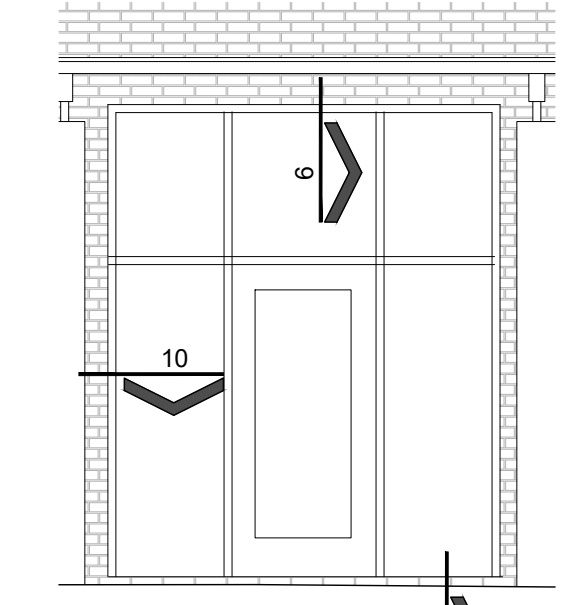
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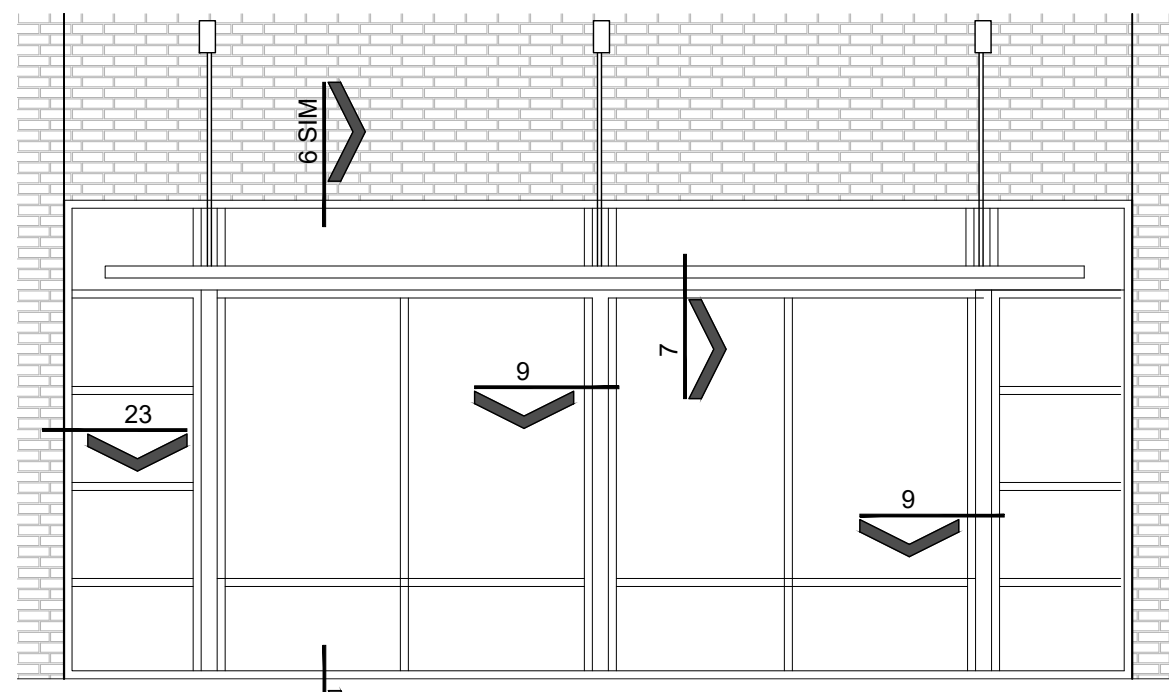
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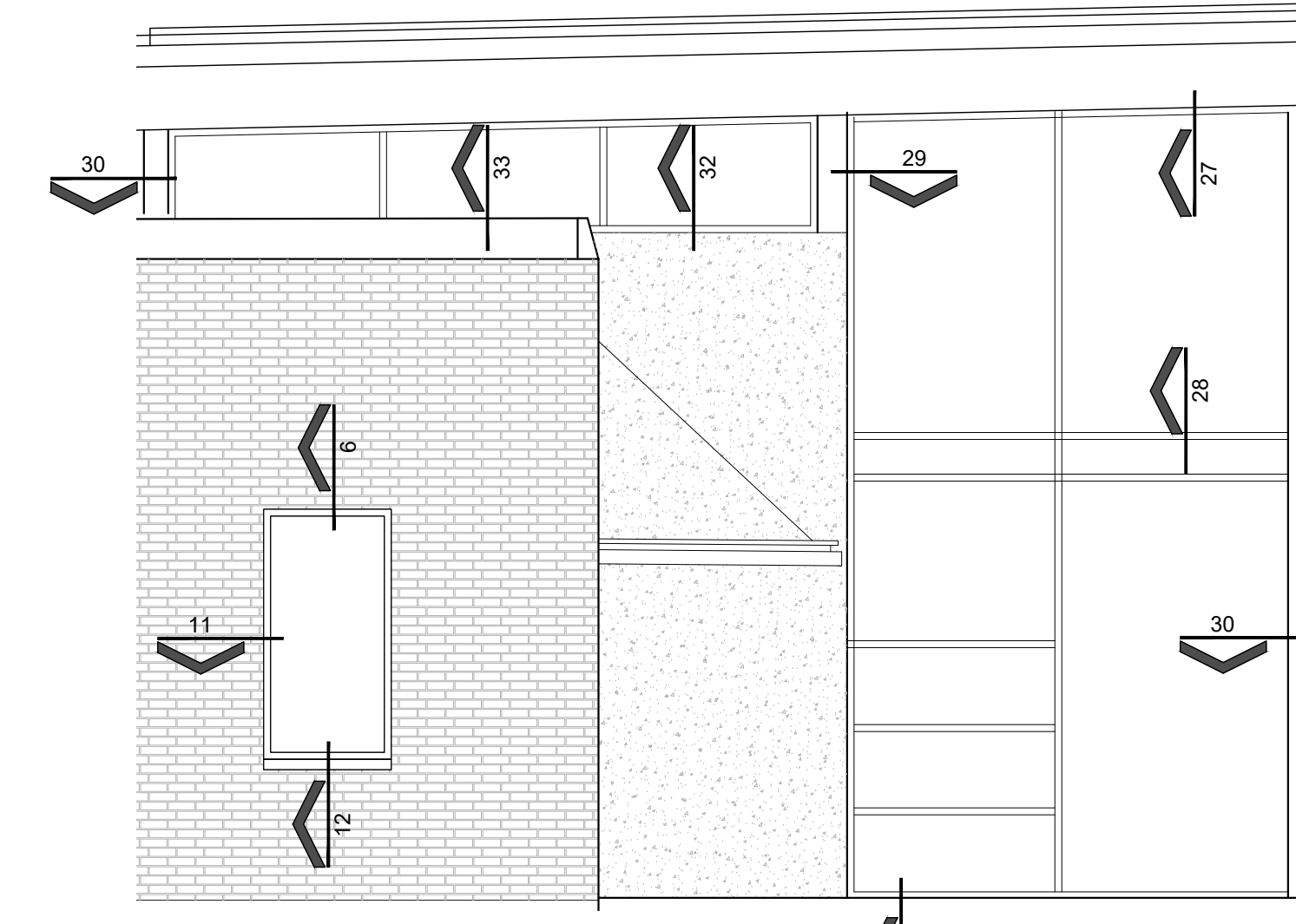
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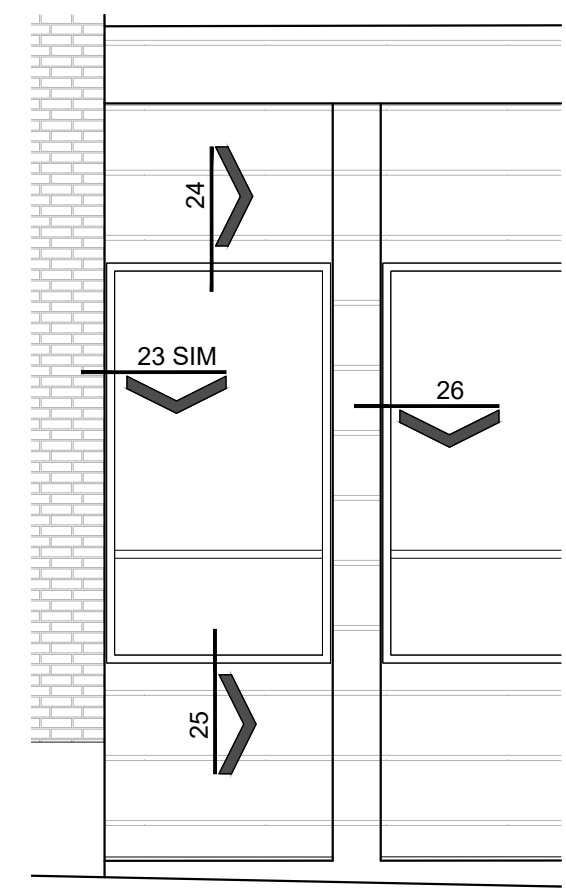
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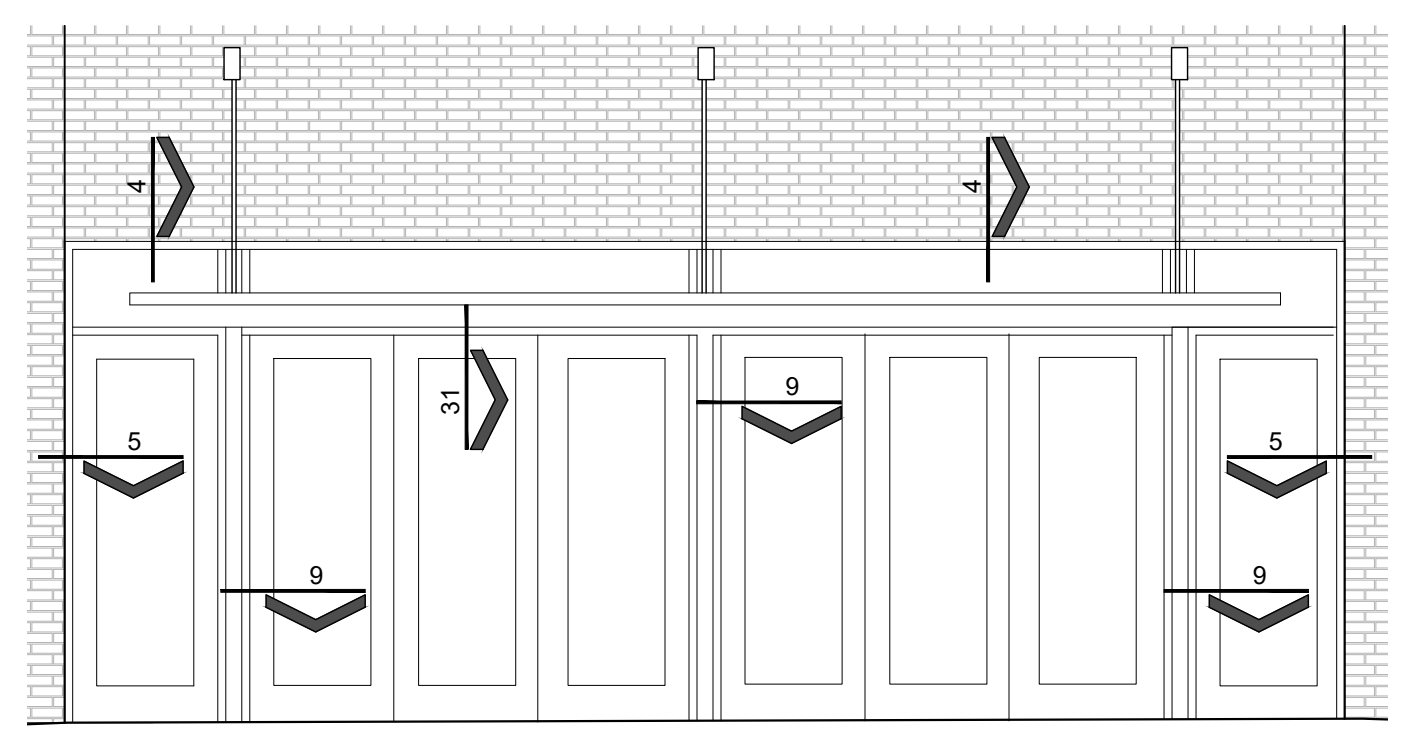
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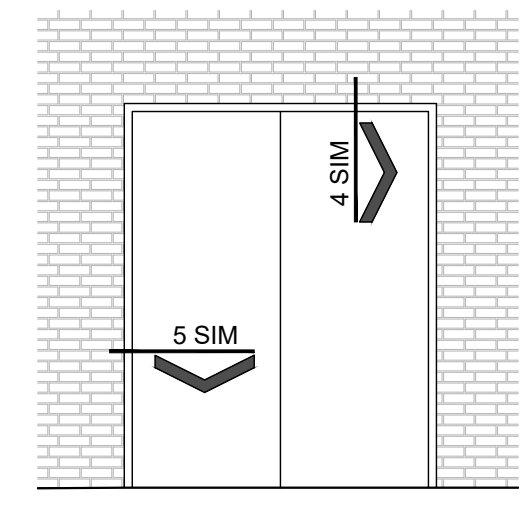
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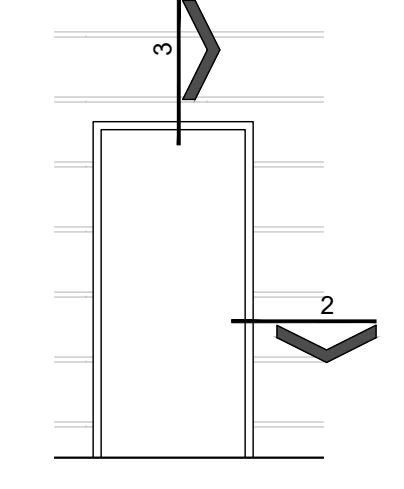
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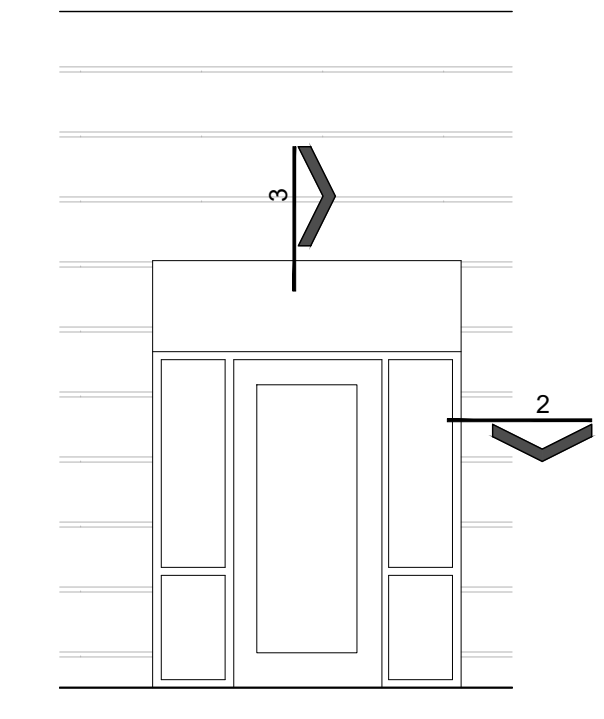
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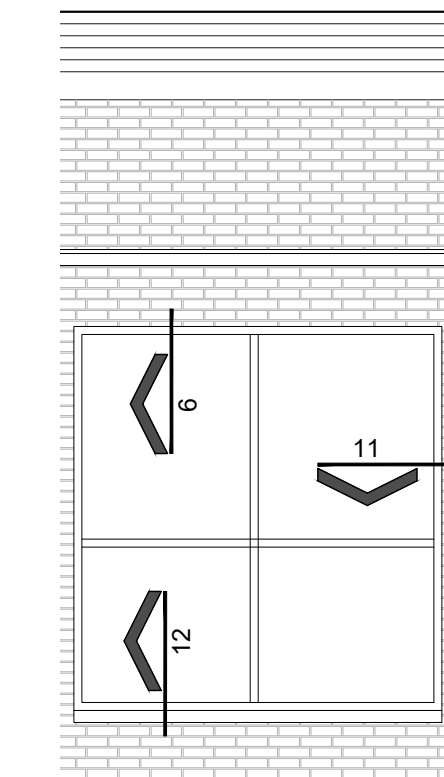
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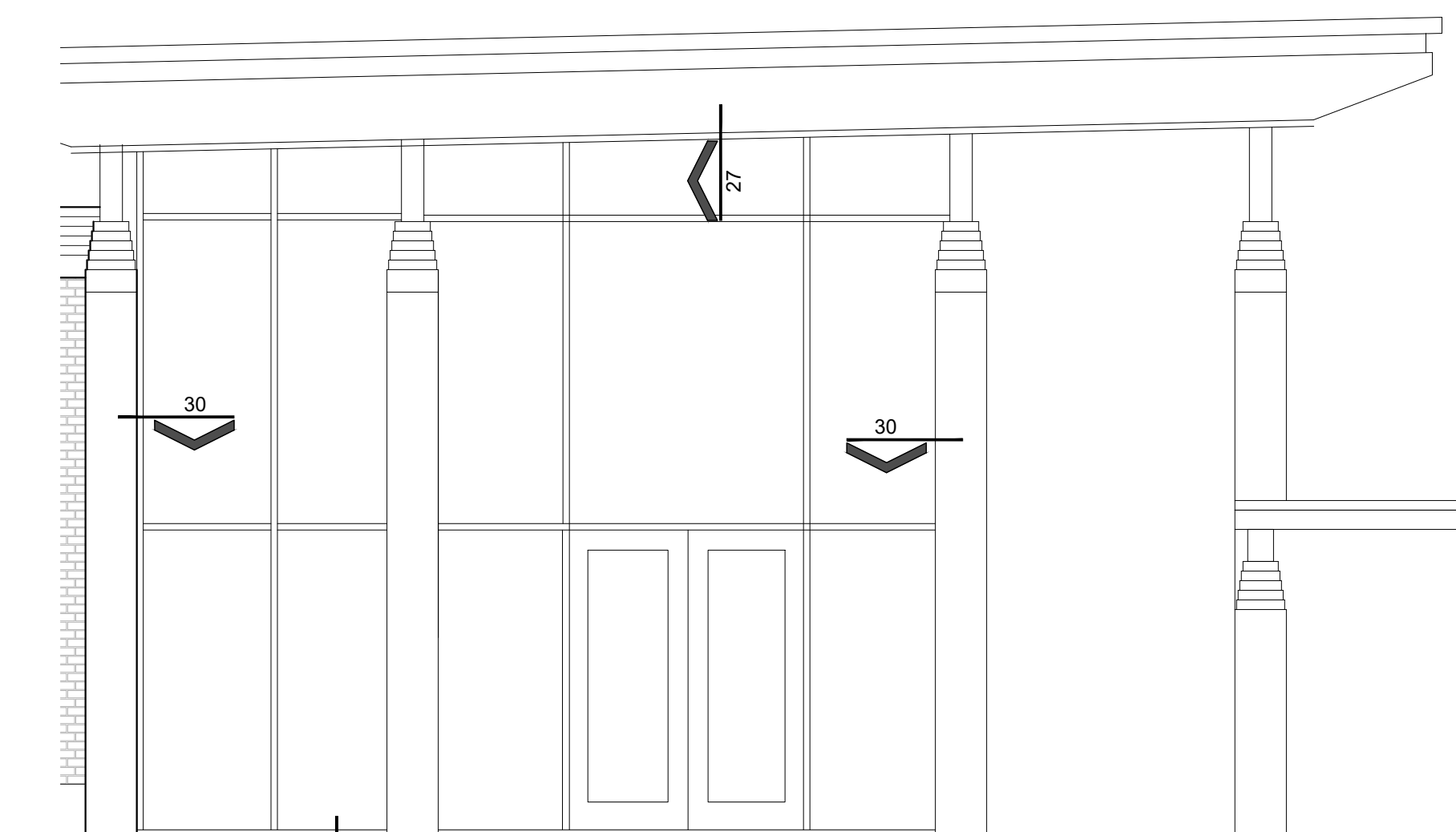
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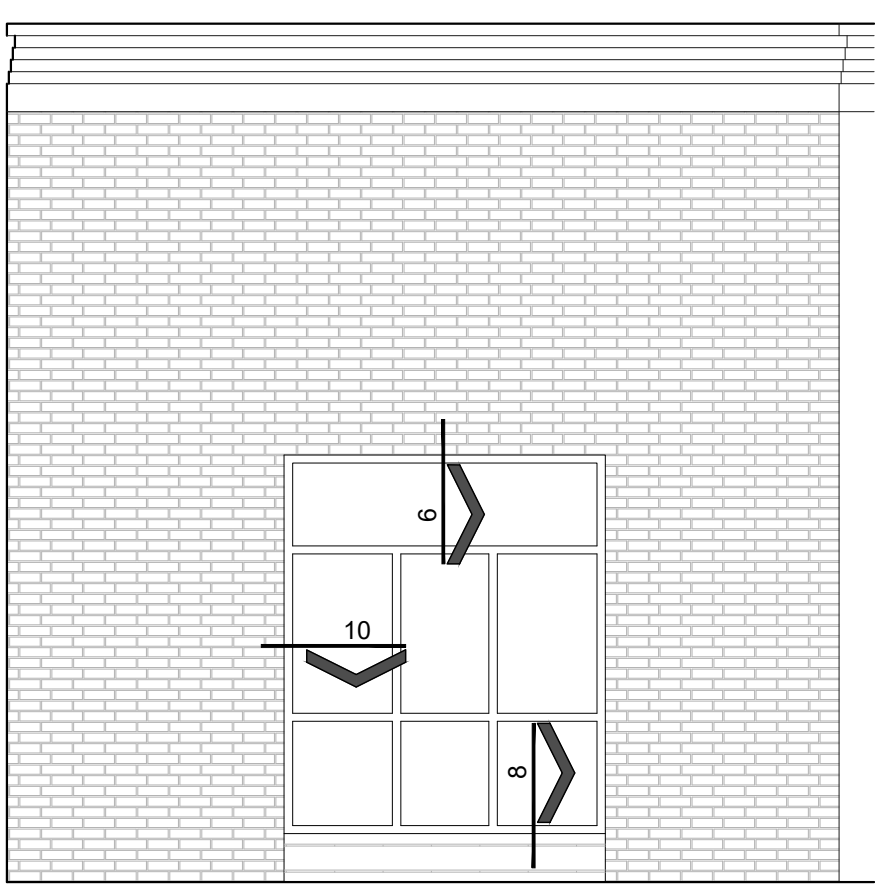
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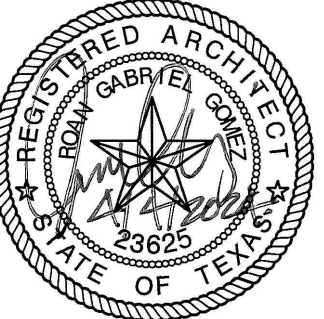
R

No.	REVISIONS	BY

GMS ARCHITECTS
 1150 Paredes Line Rd.
 Brownsville TX 78526
 (956) 546-0110
 fax (956) 546-0196

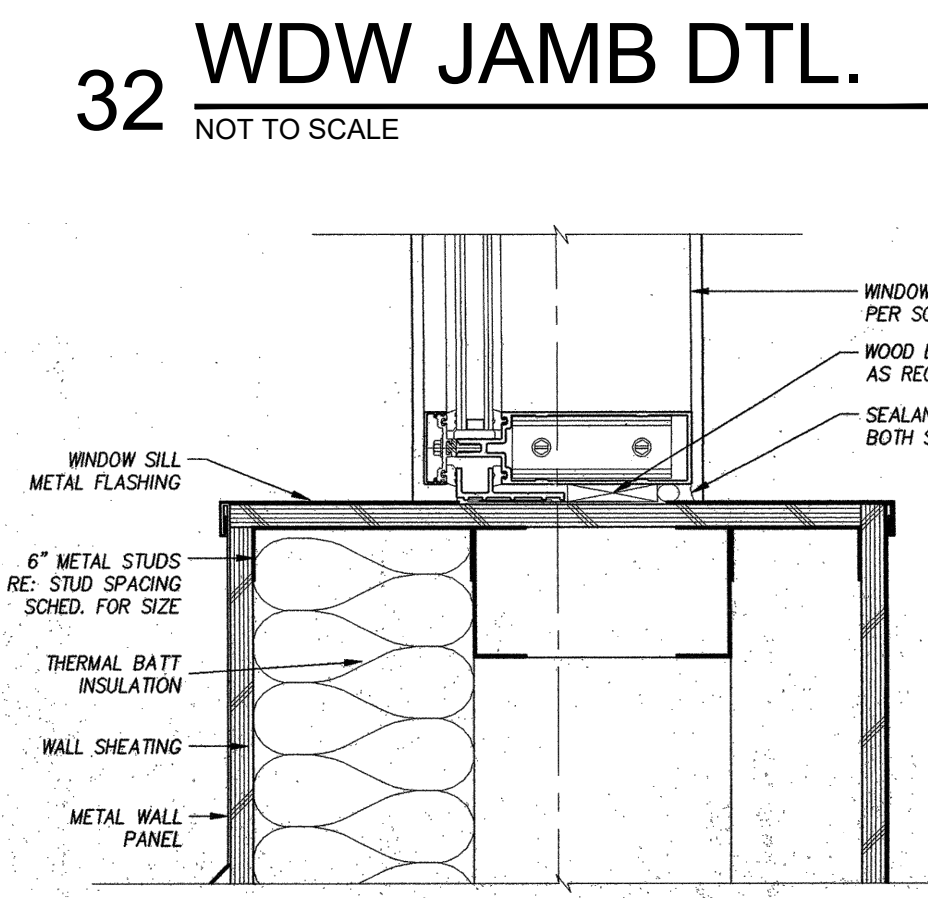
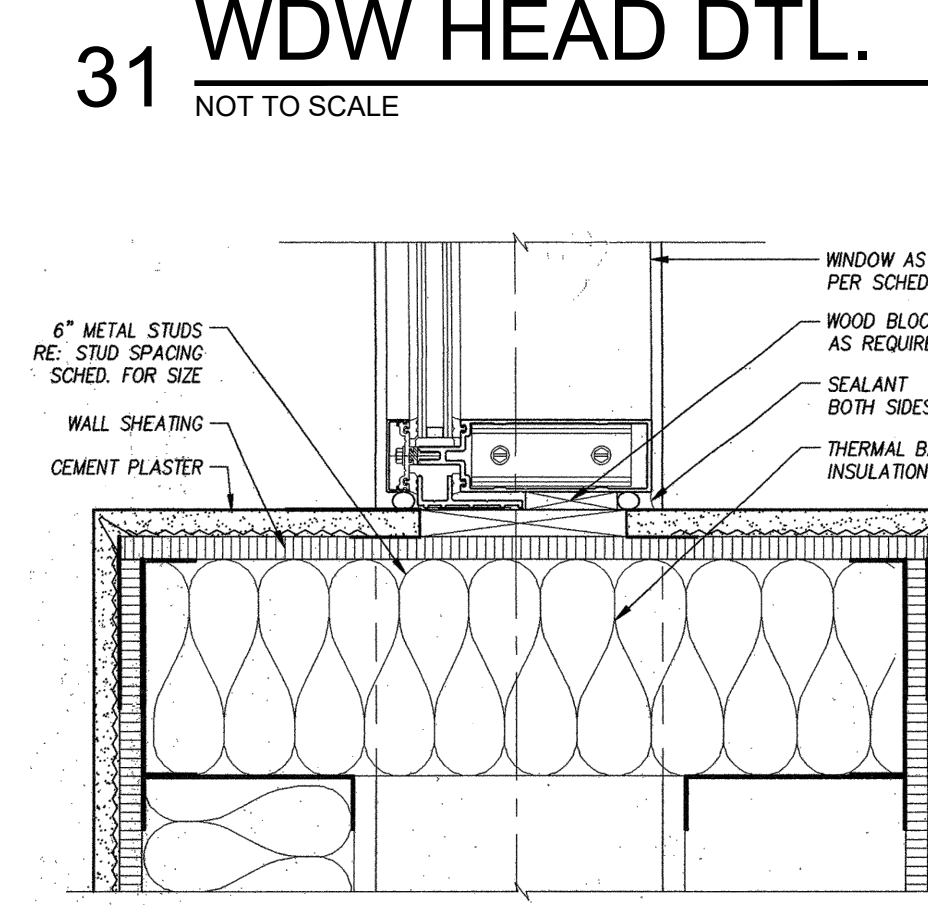
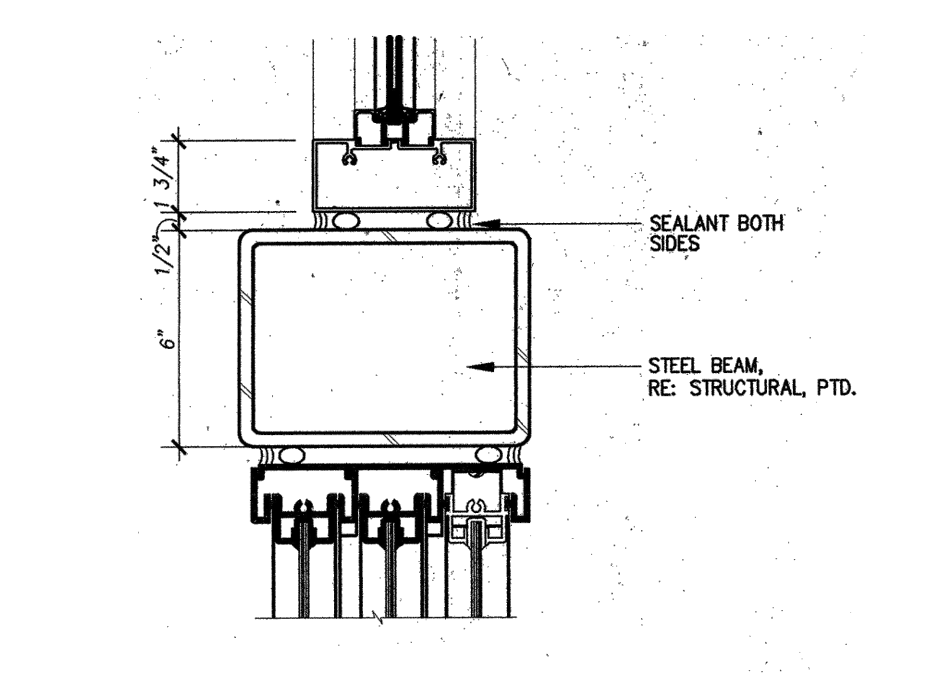
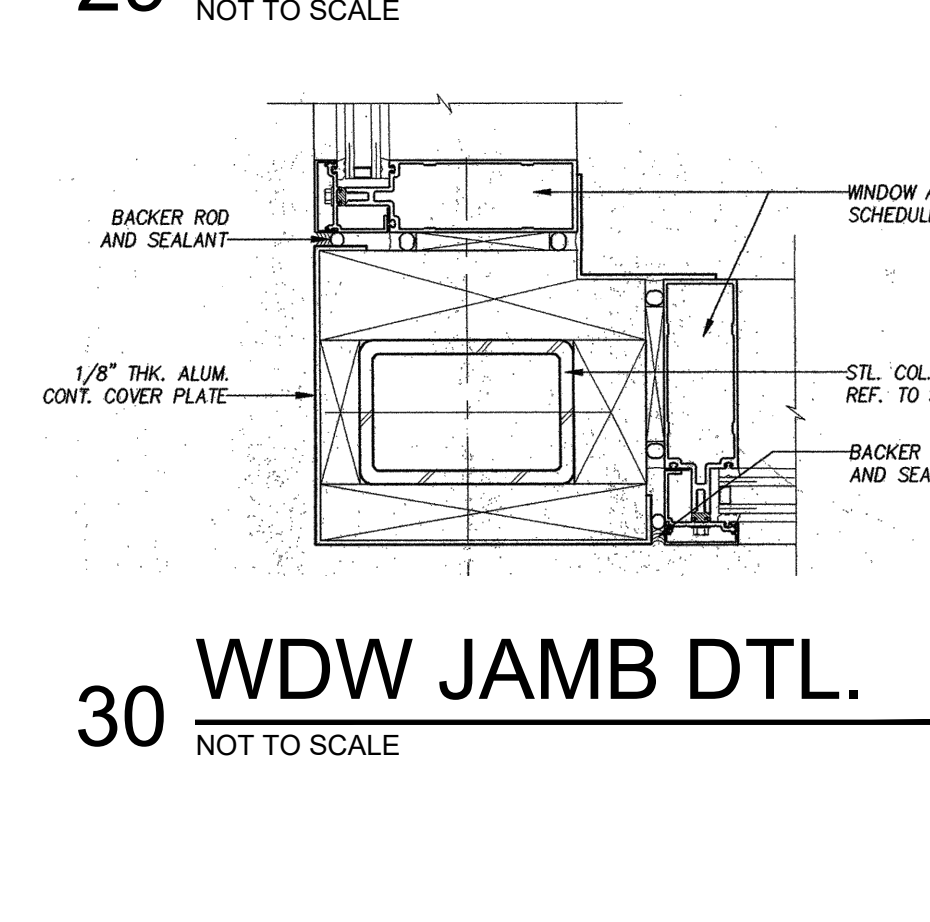
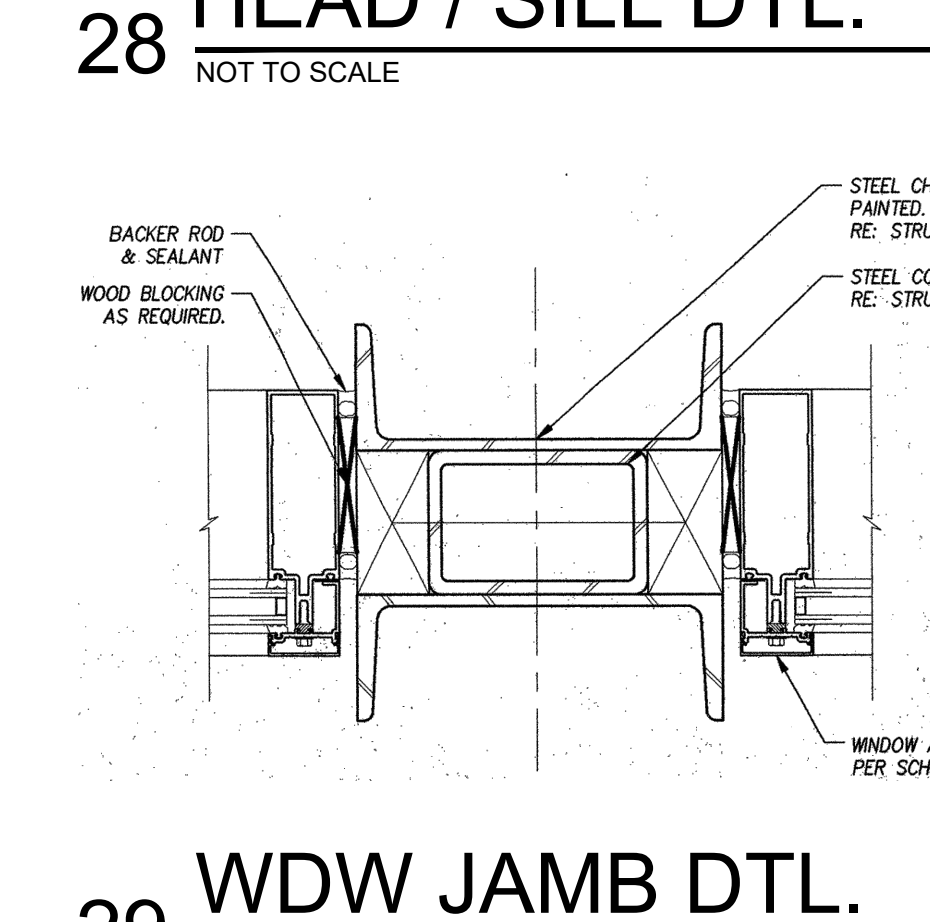
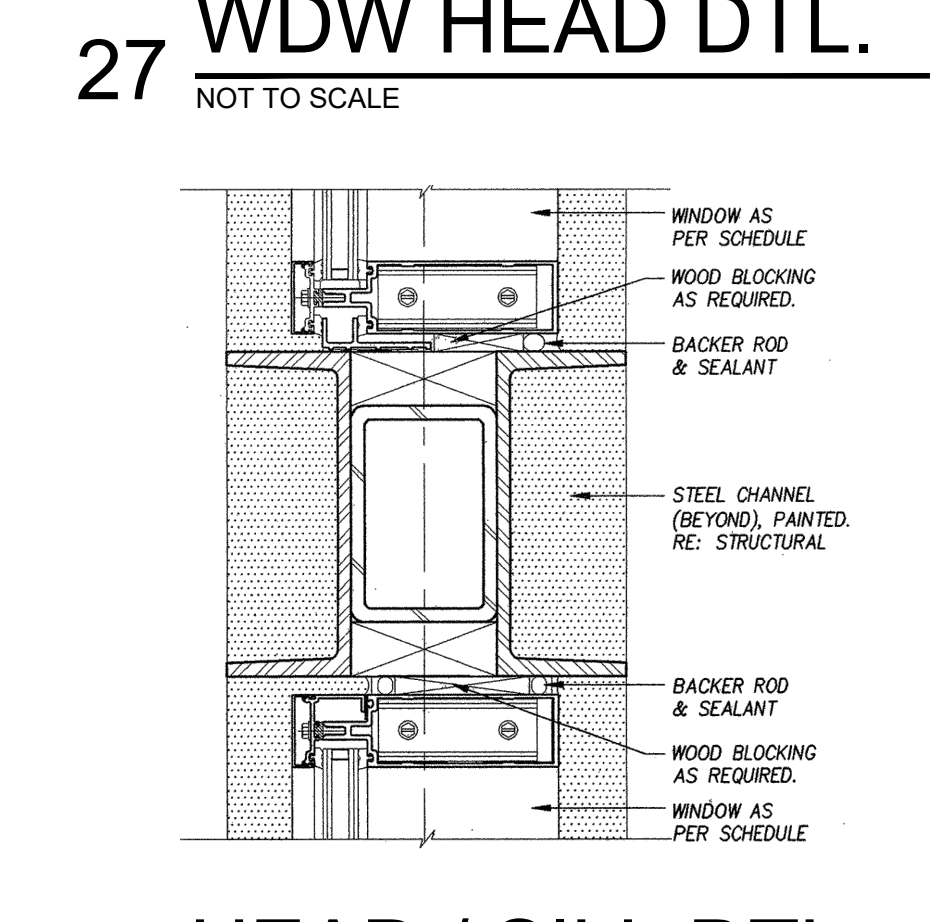
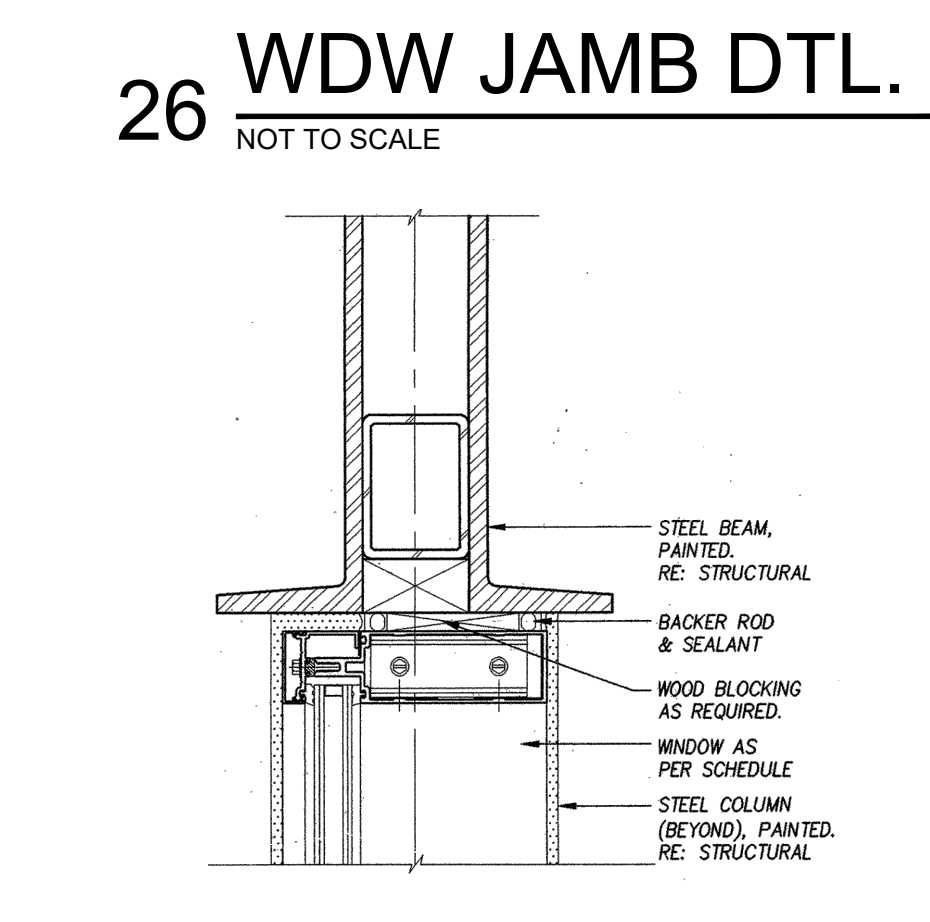
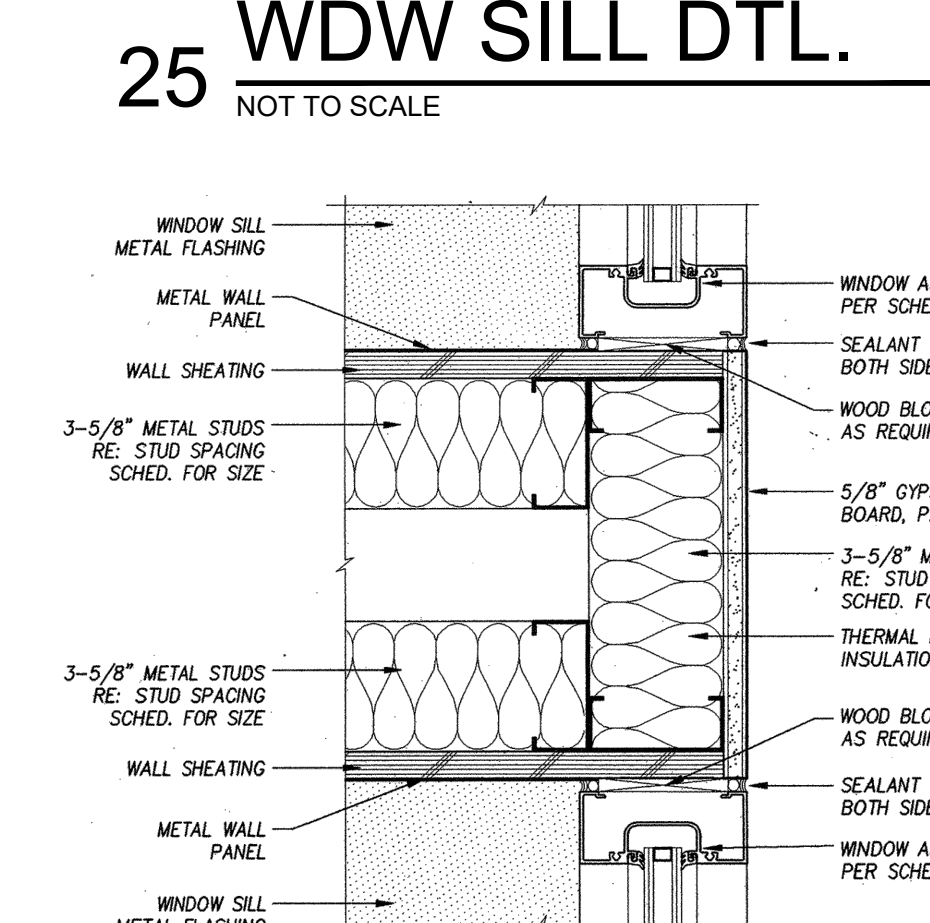
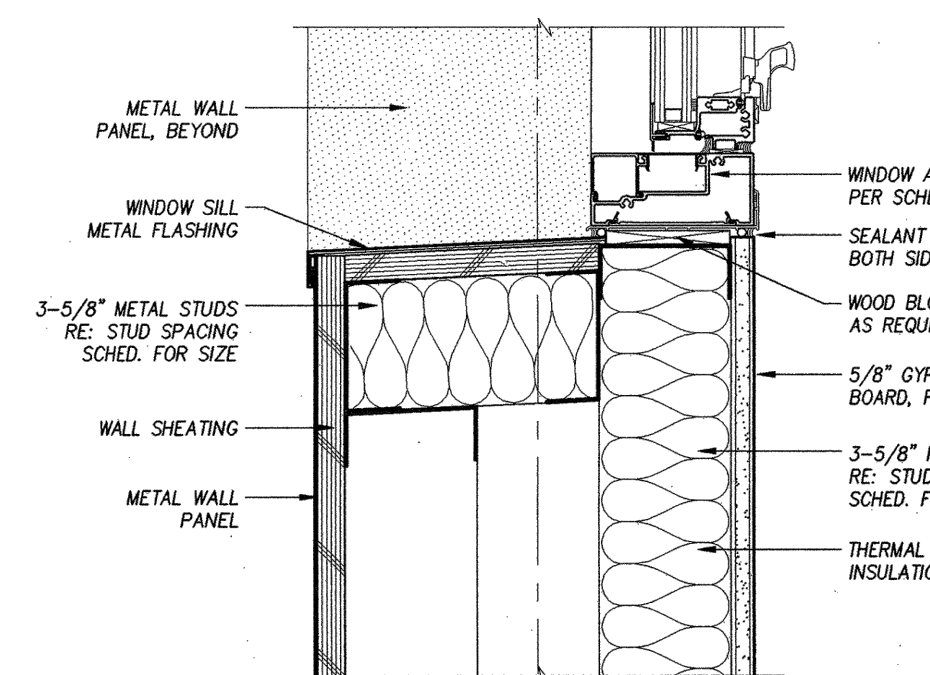
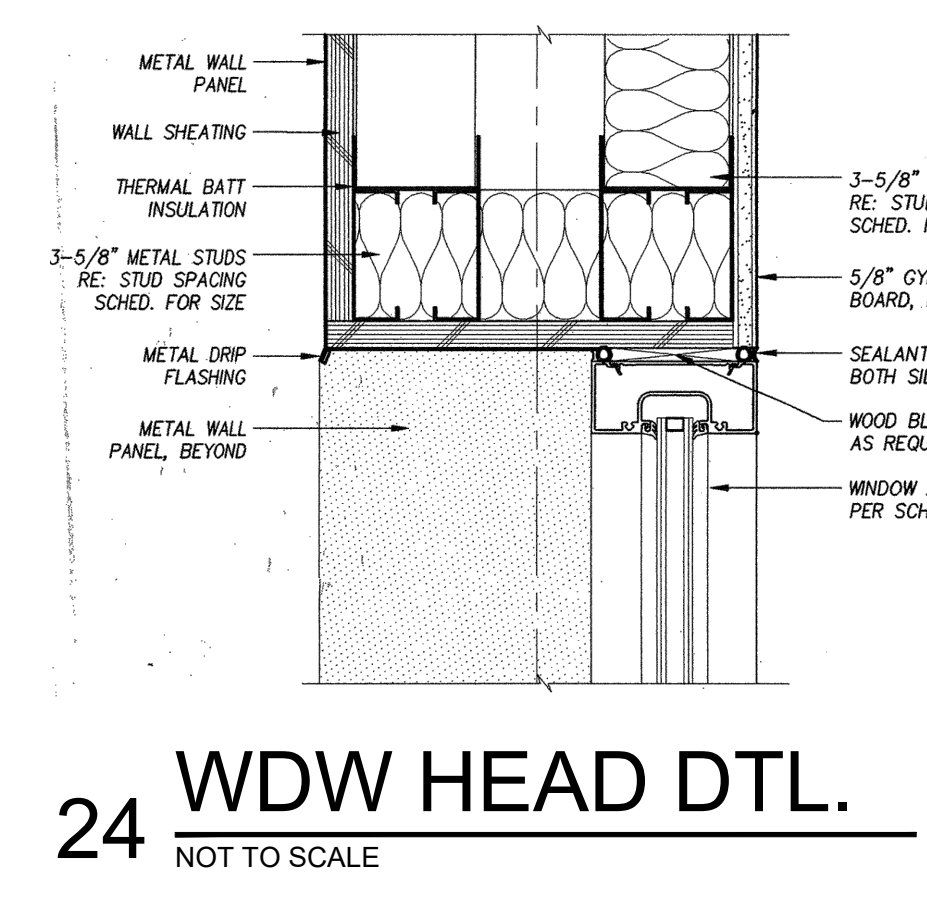
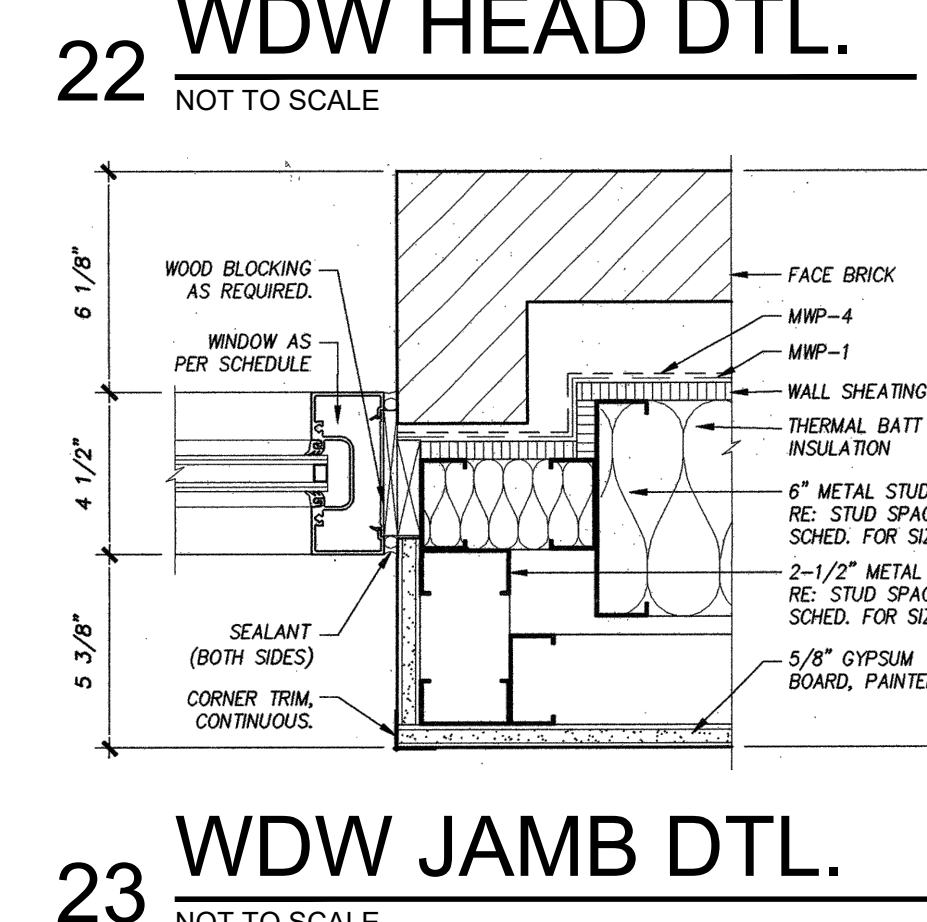
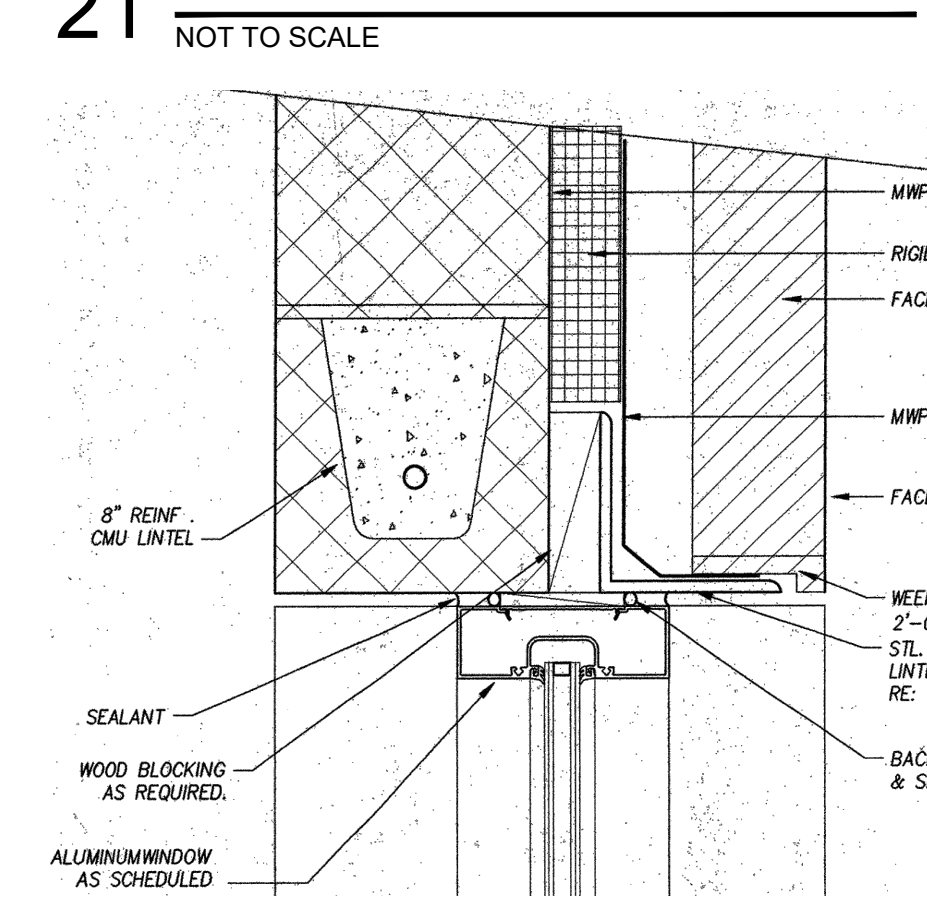
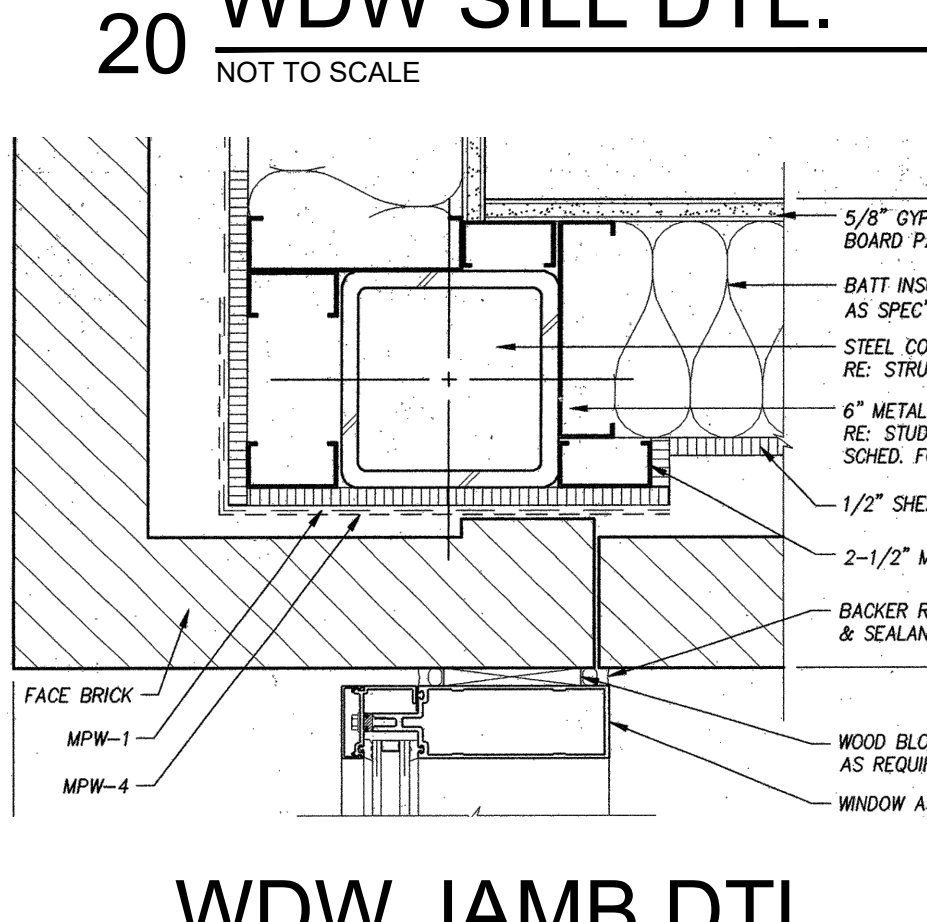
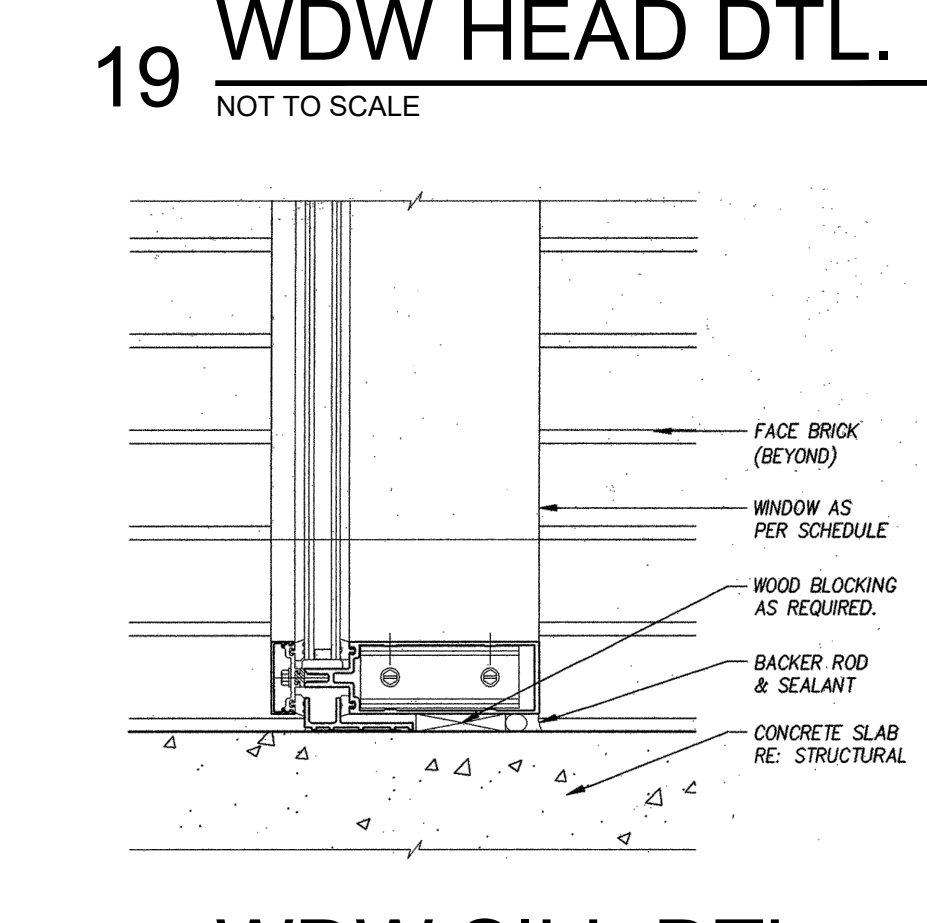
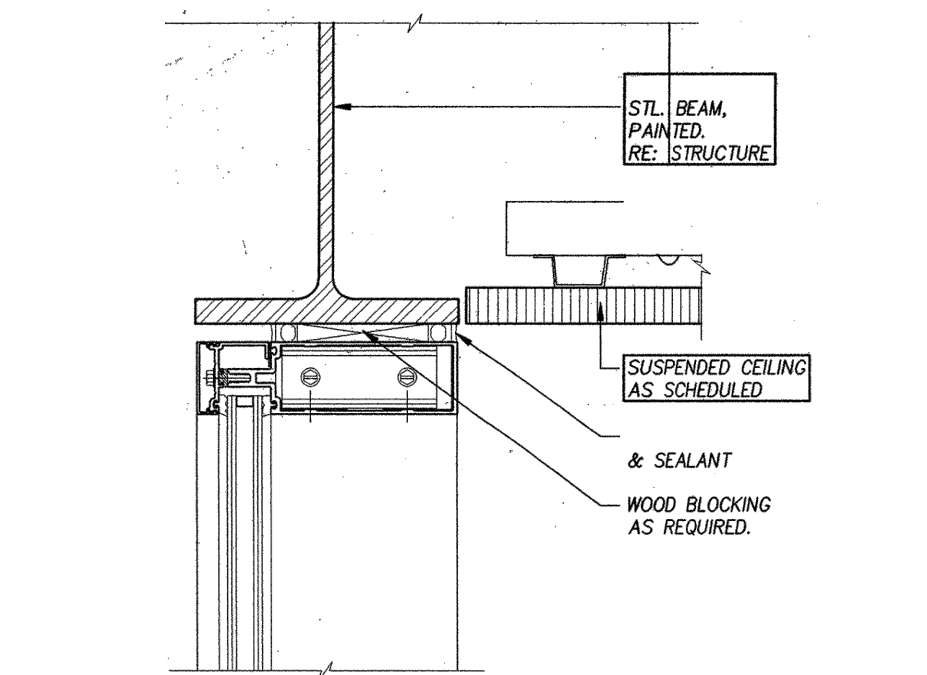
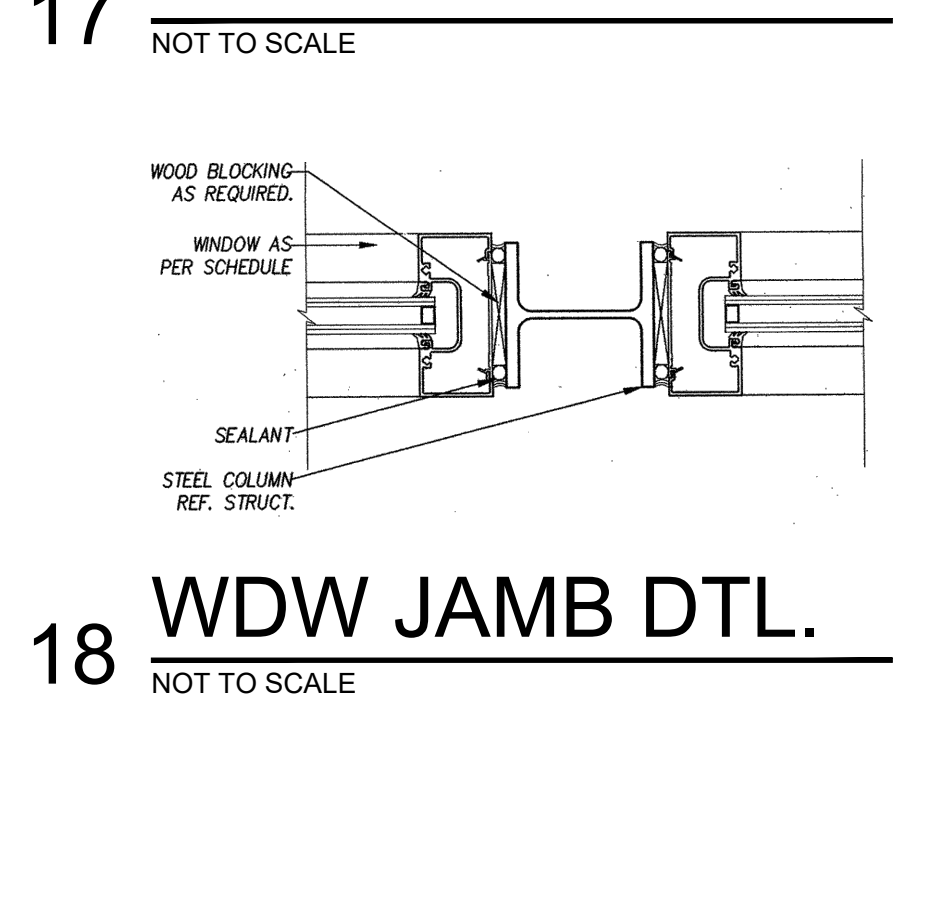
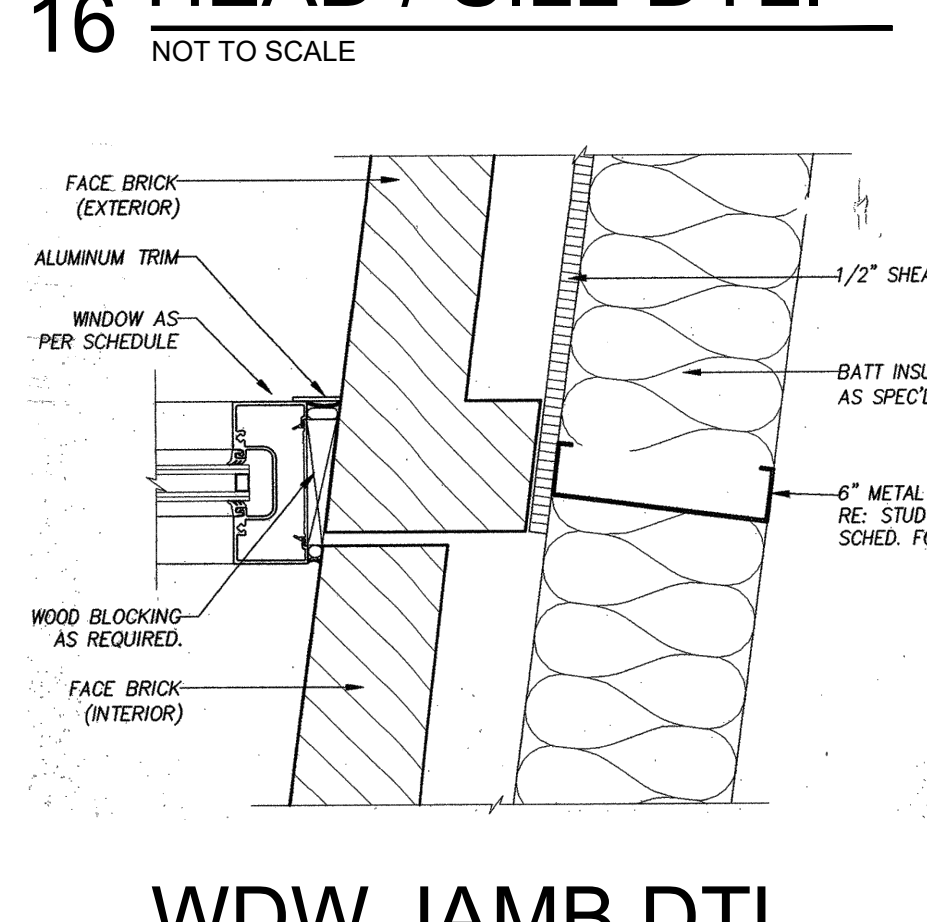
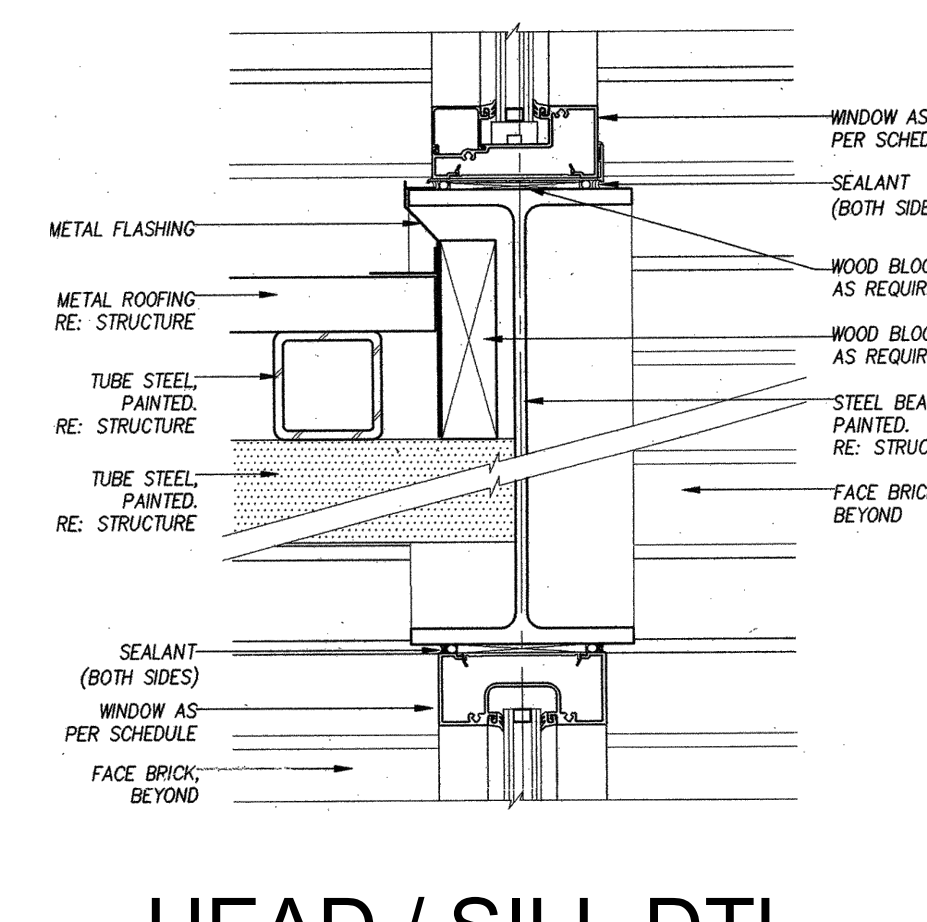
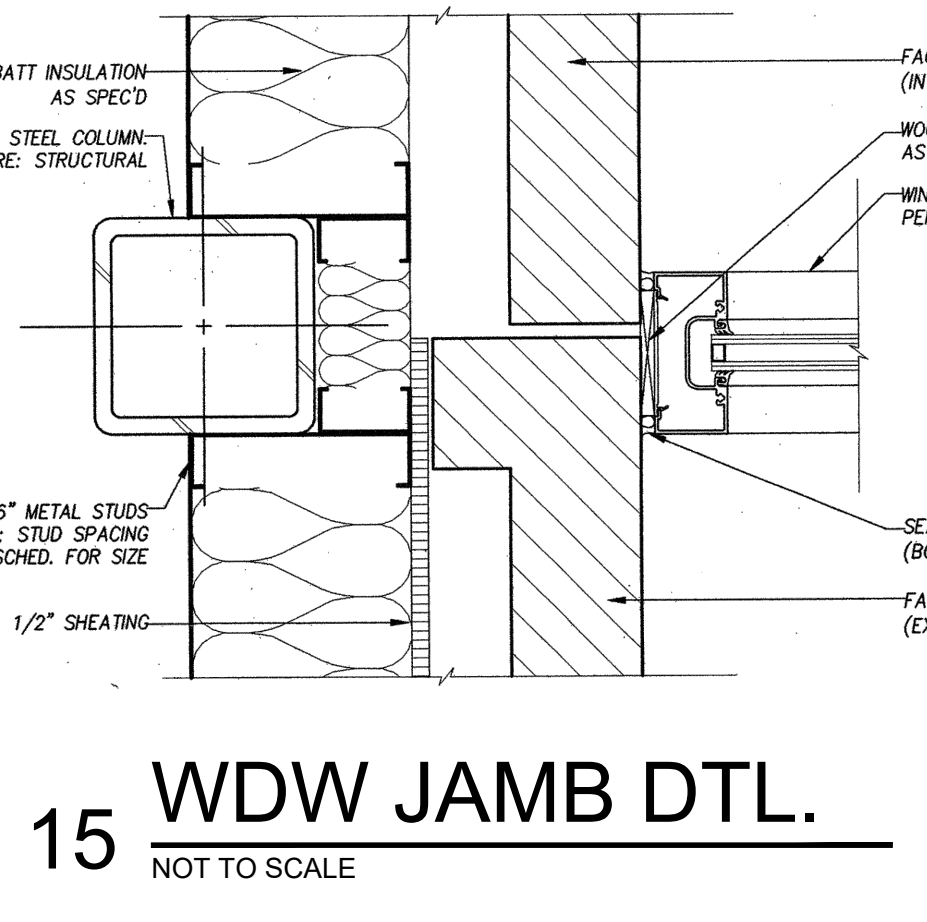
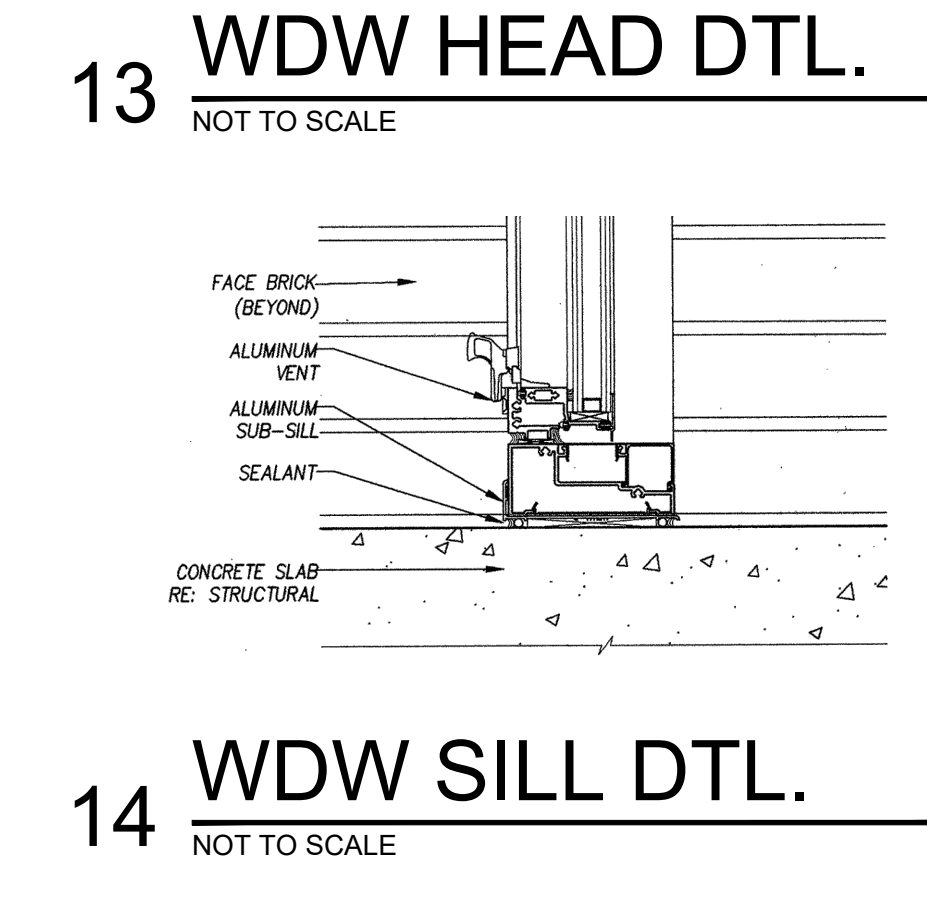
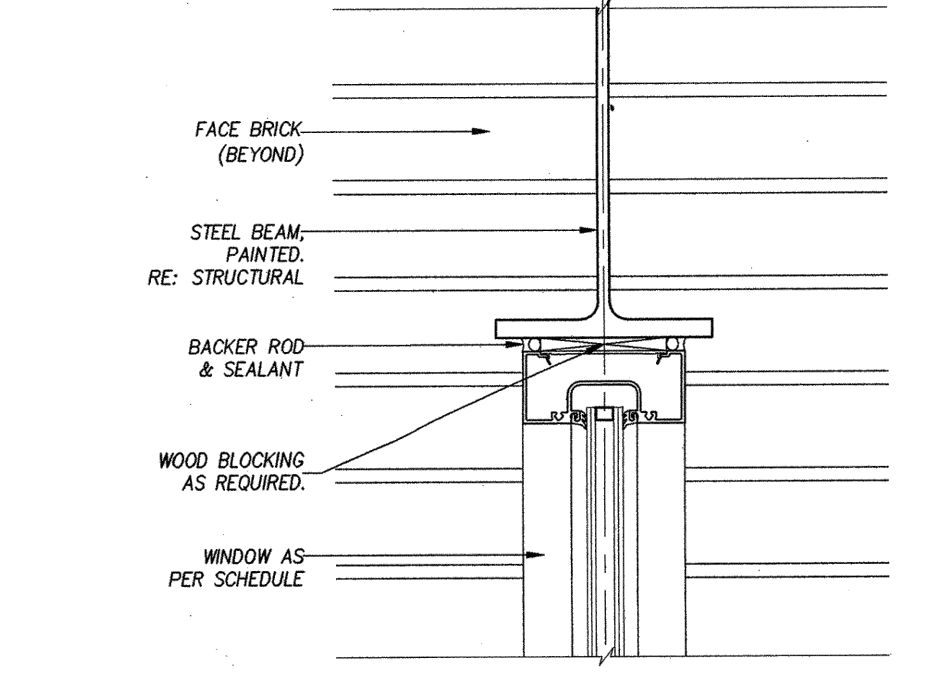
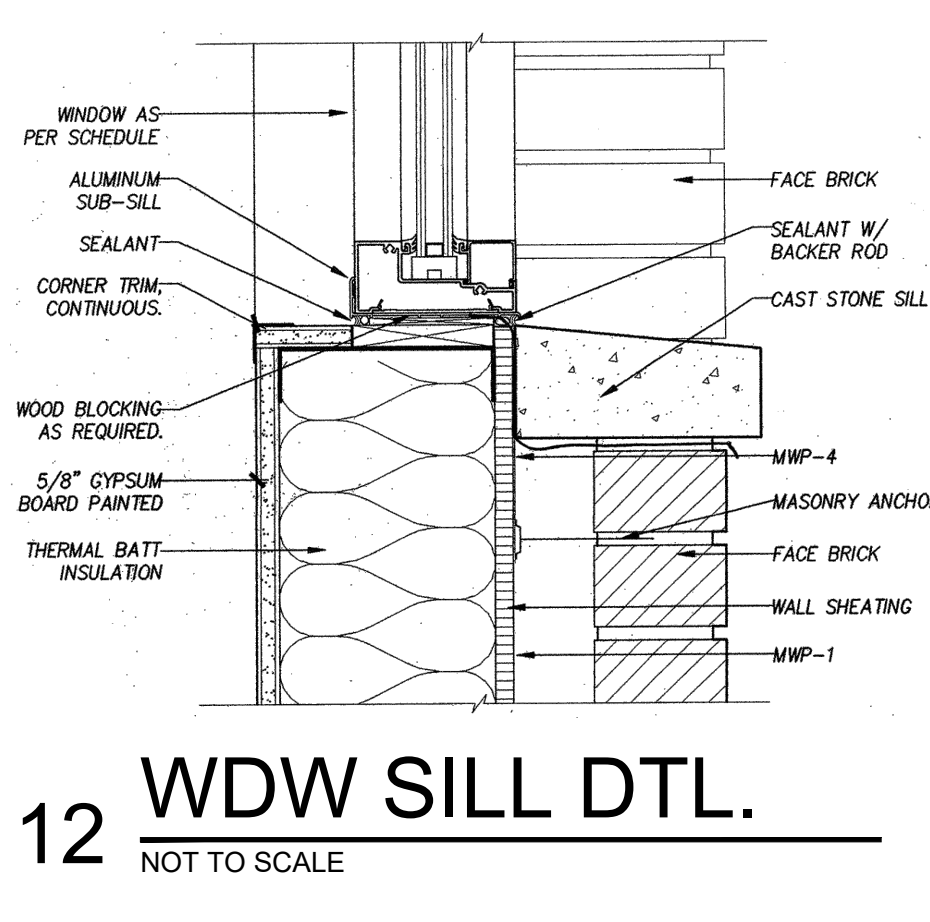
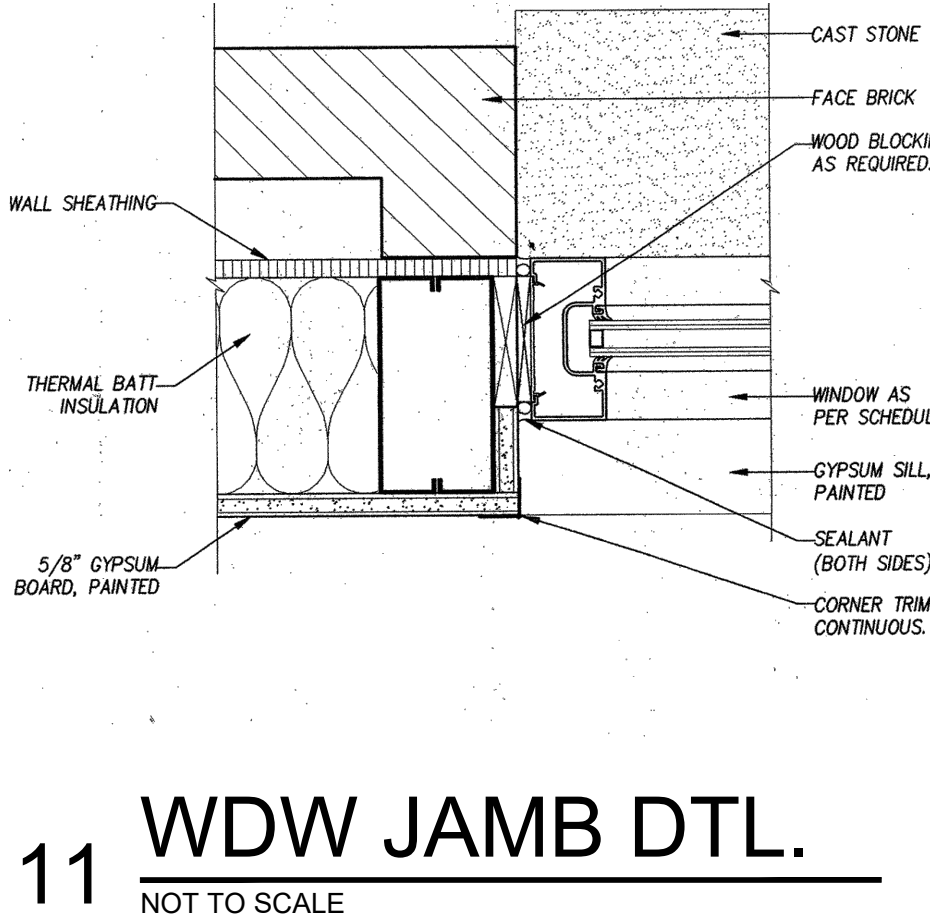
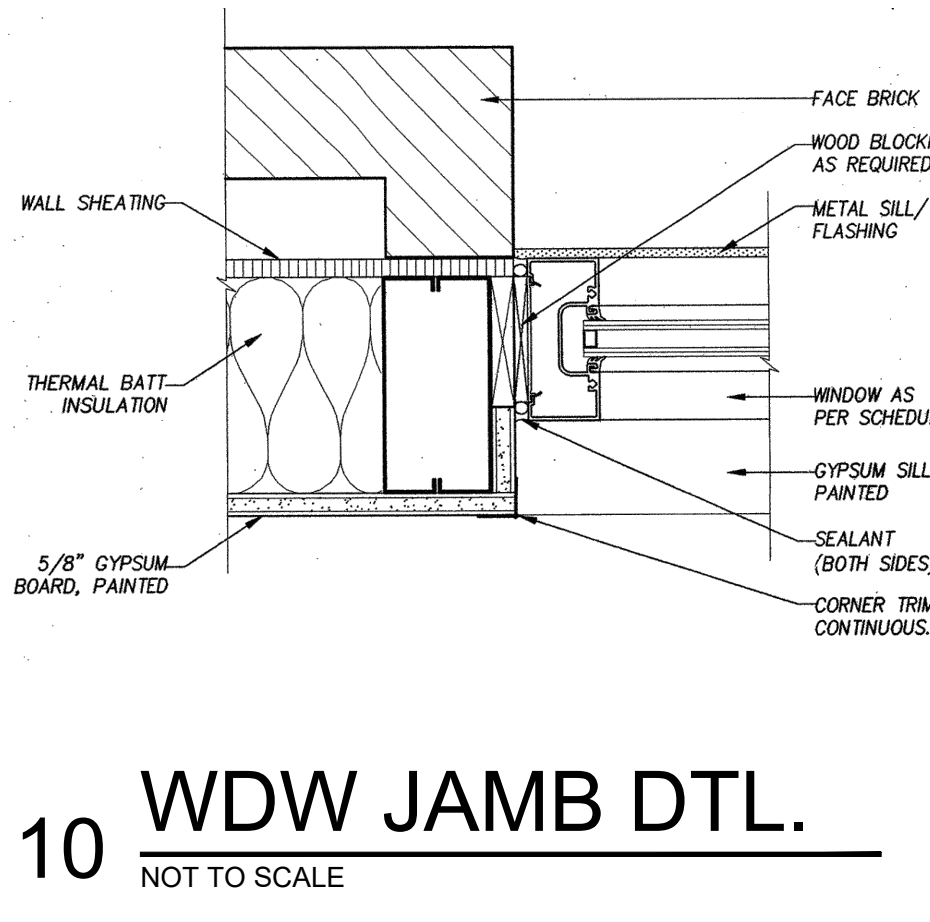
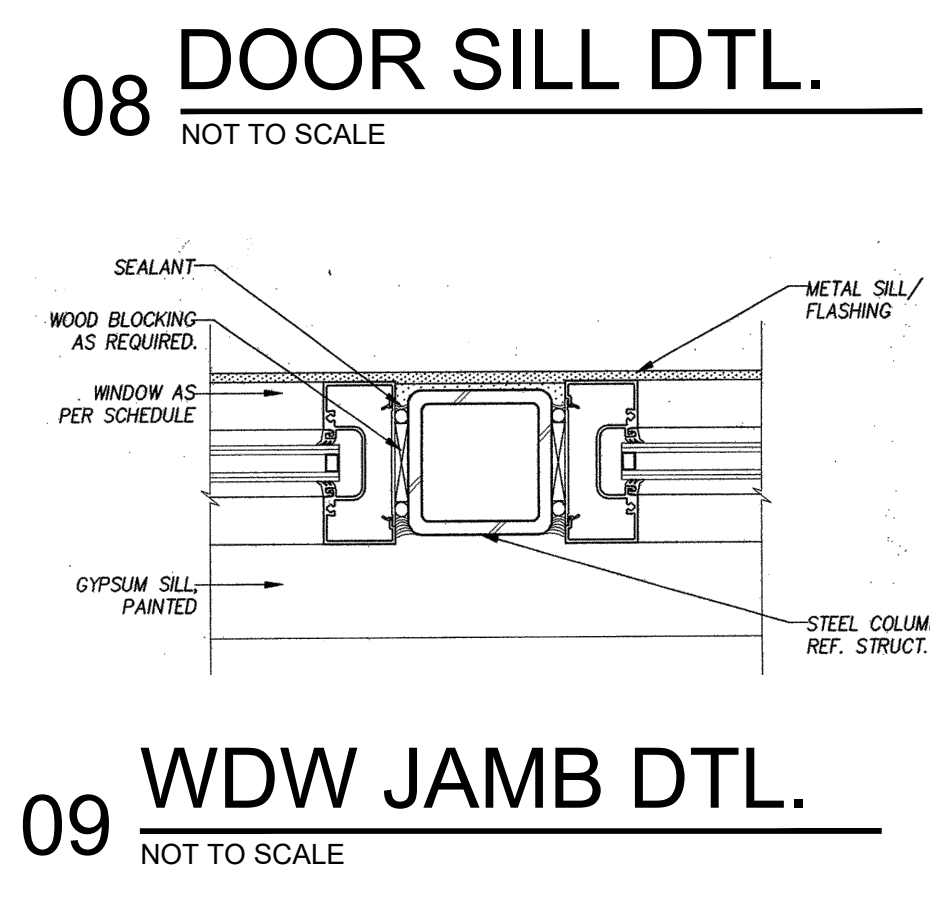
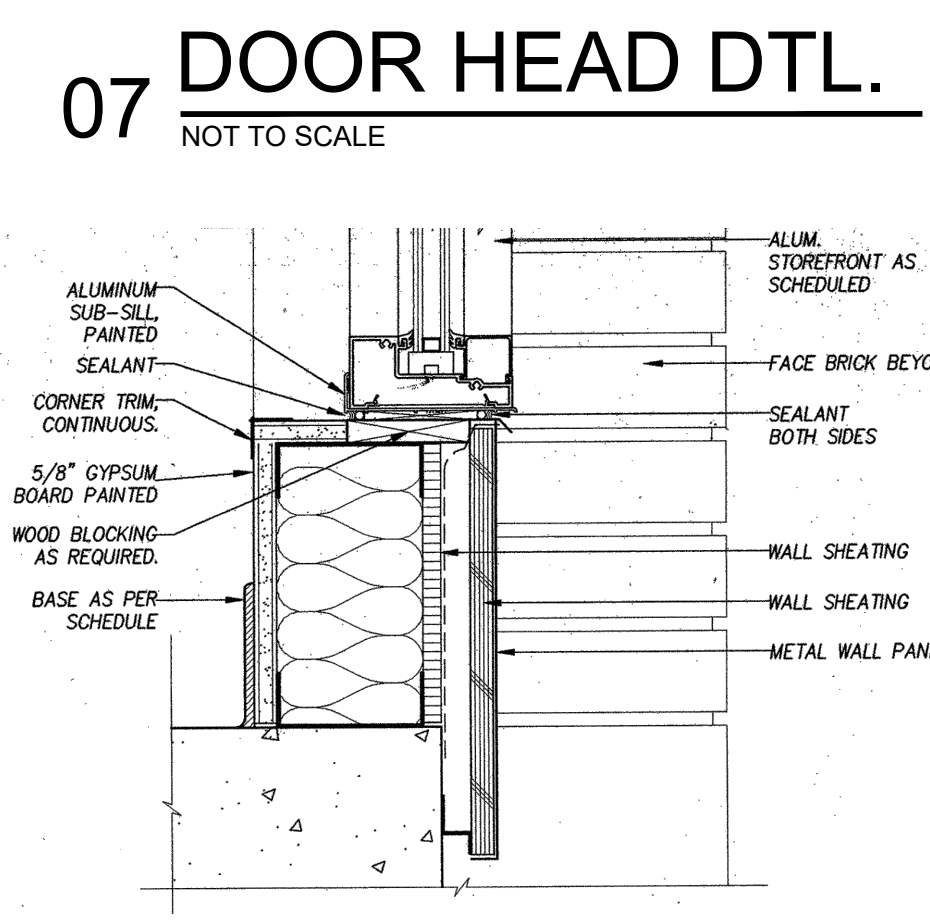
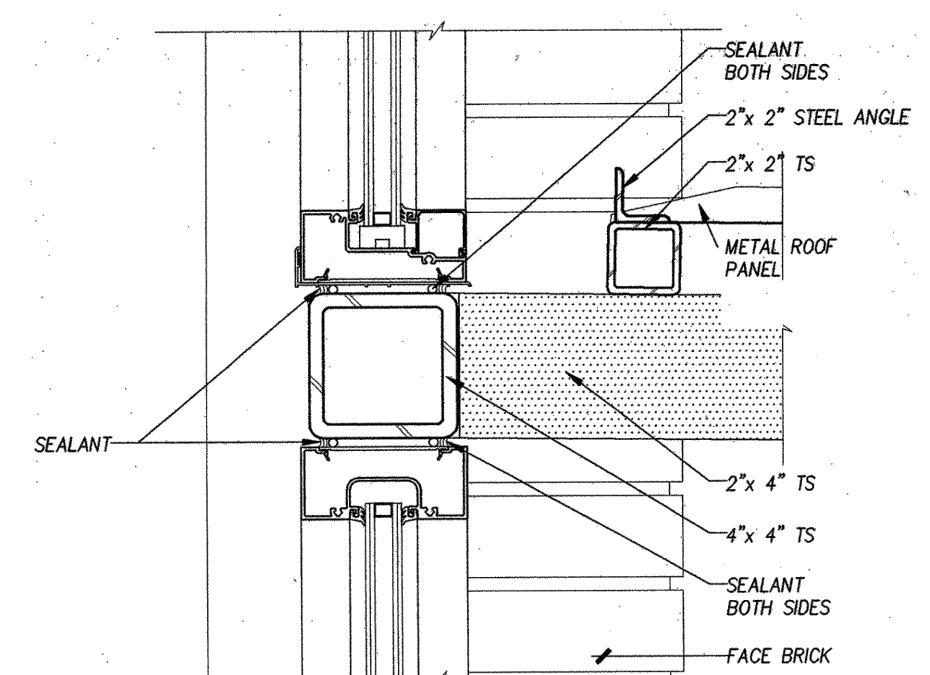
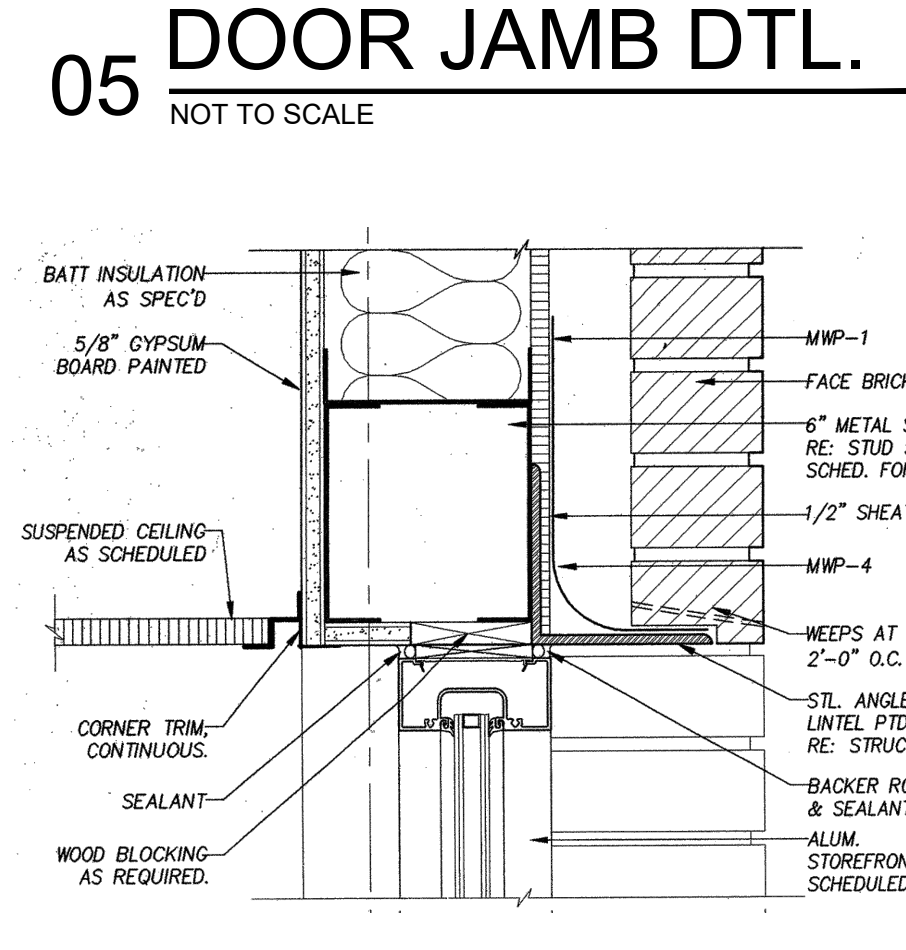
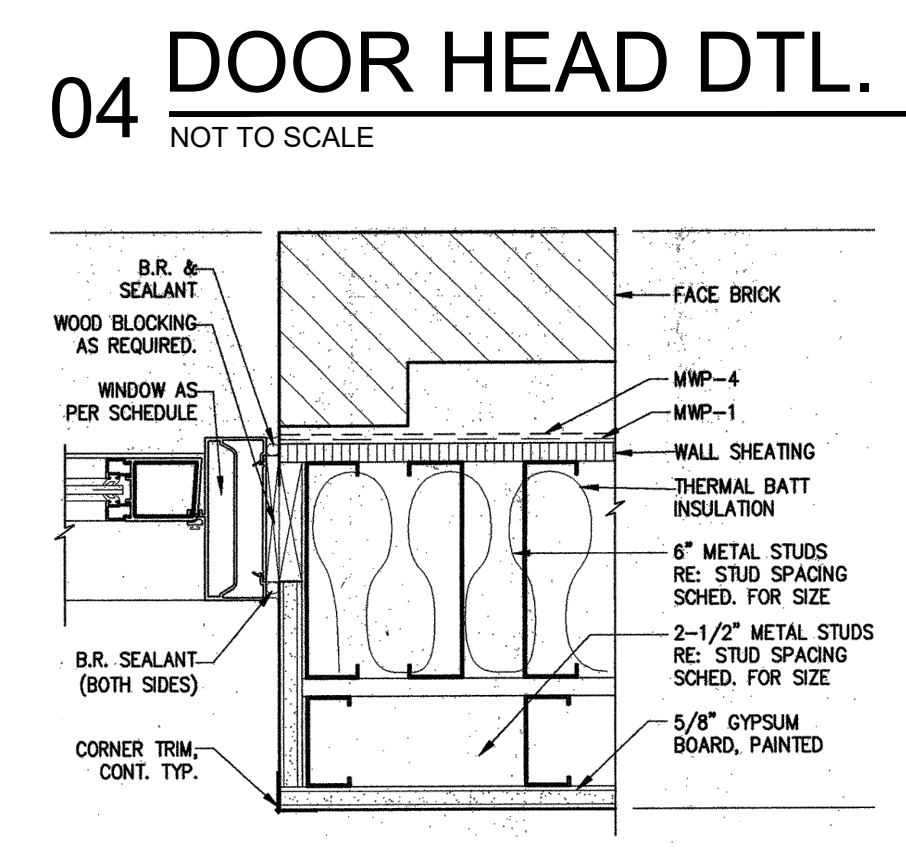
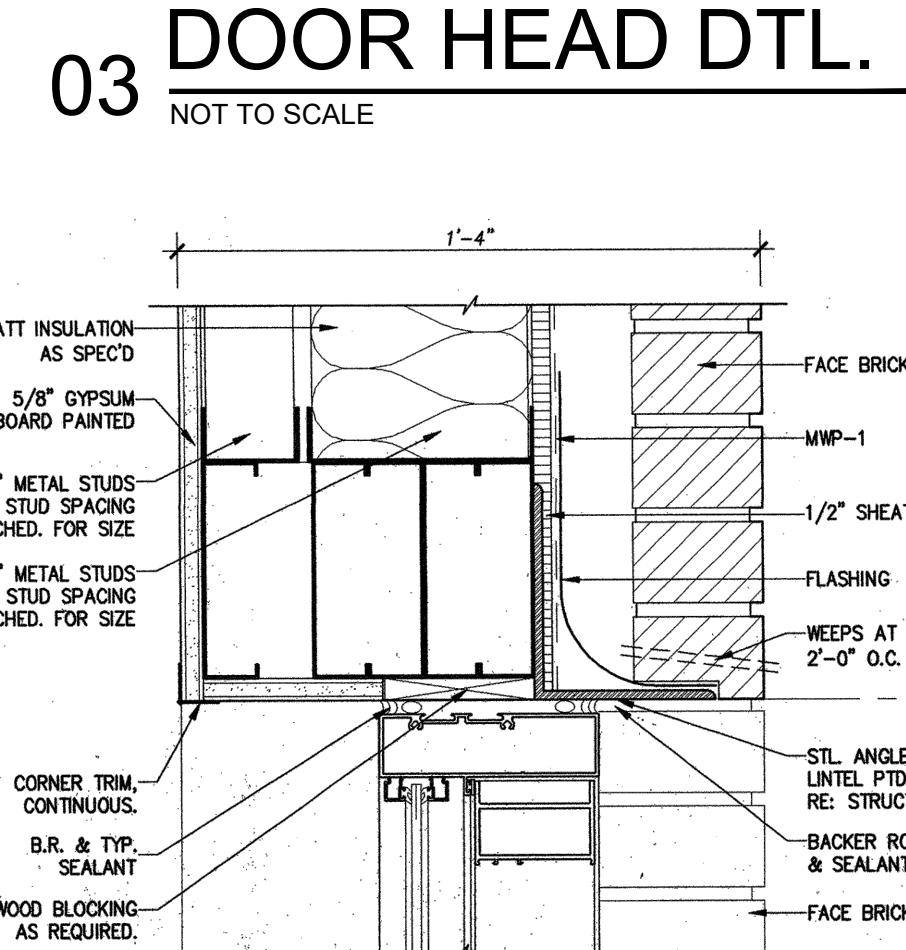
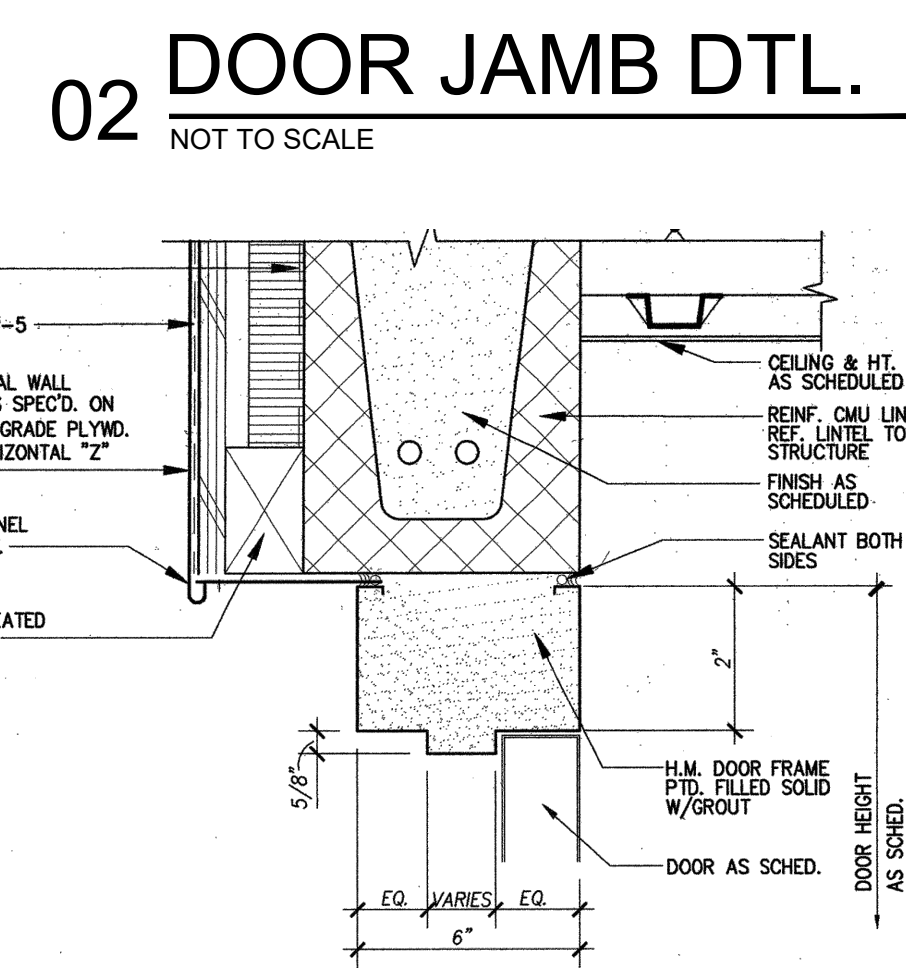
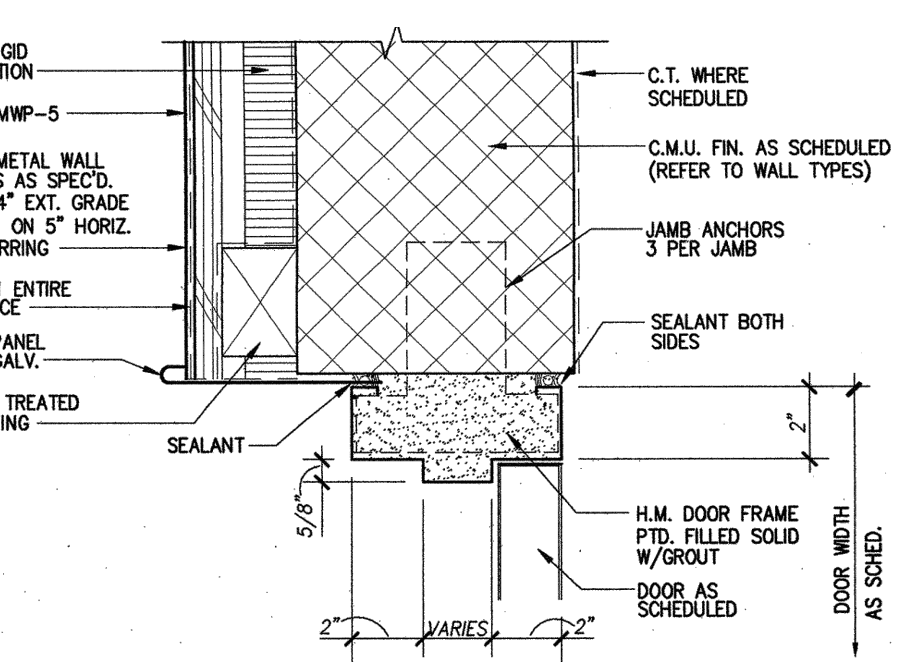
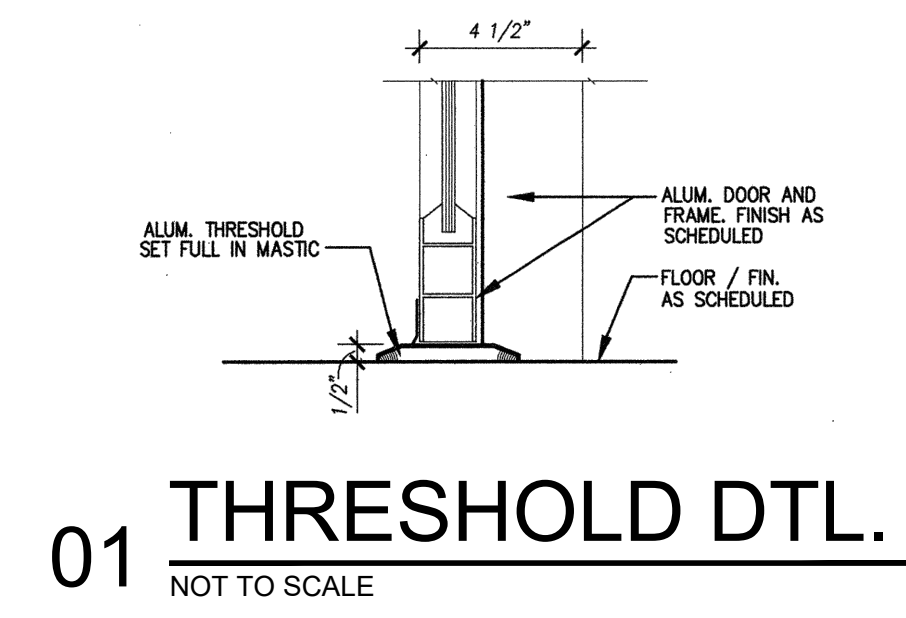
IDEA Public Schools - Exterior Envelope Repairs
IDEA San Antonio Carver
 San Antonio, Texas

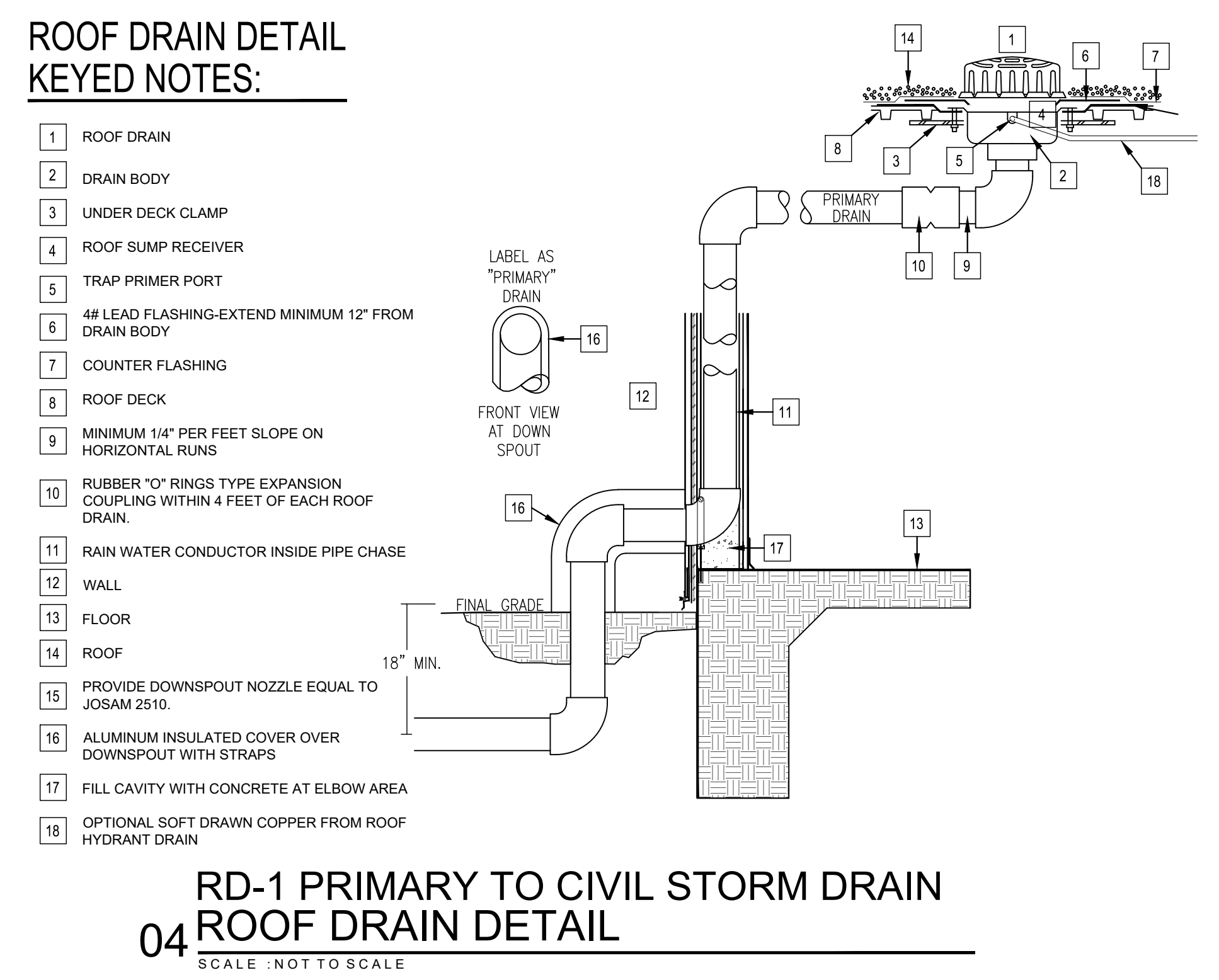
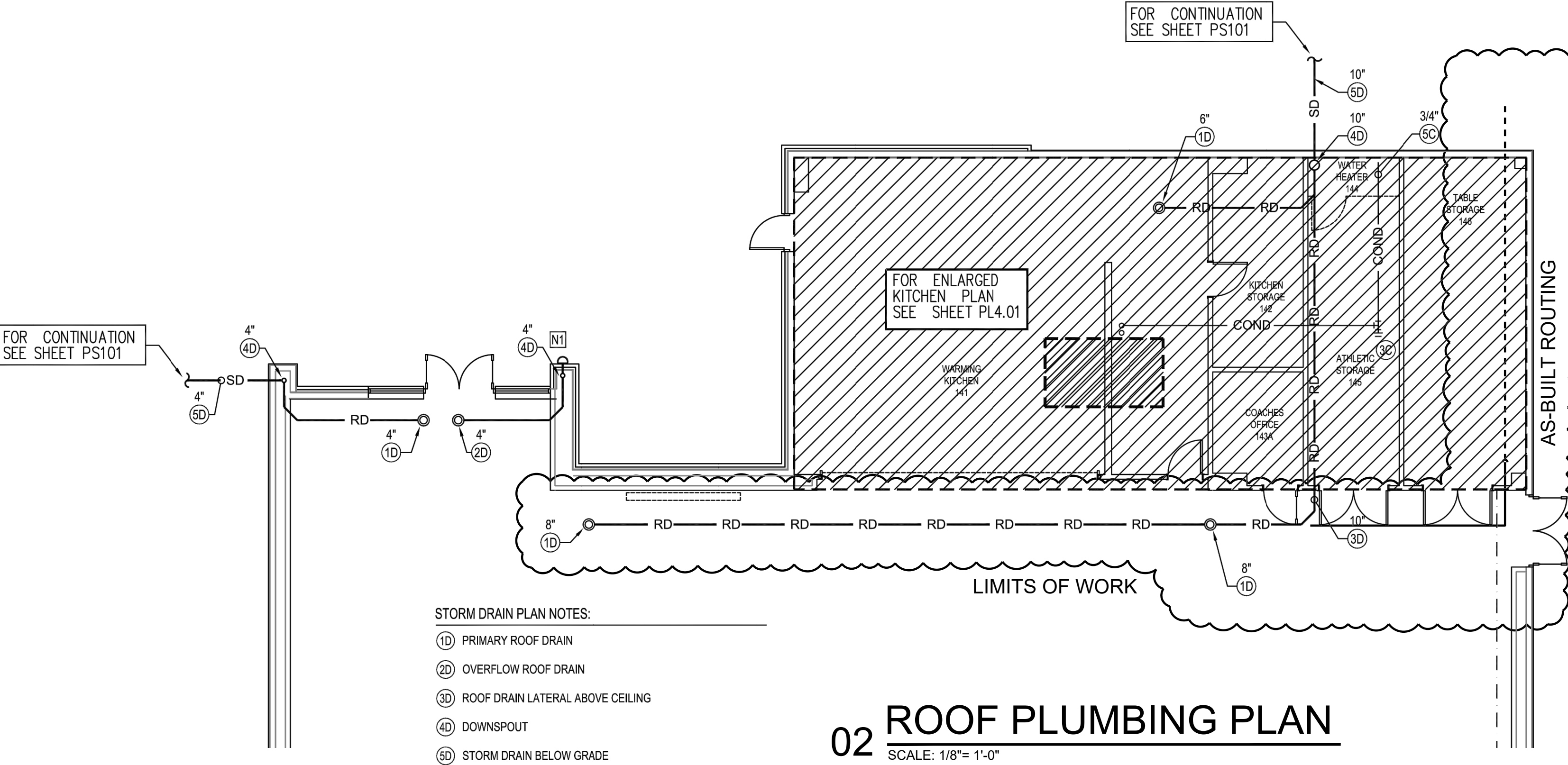
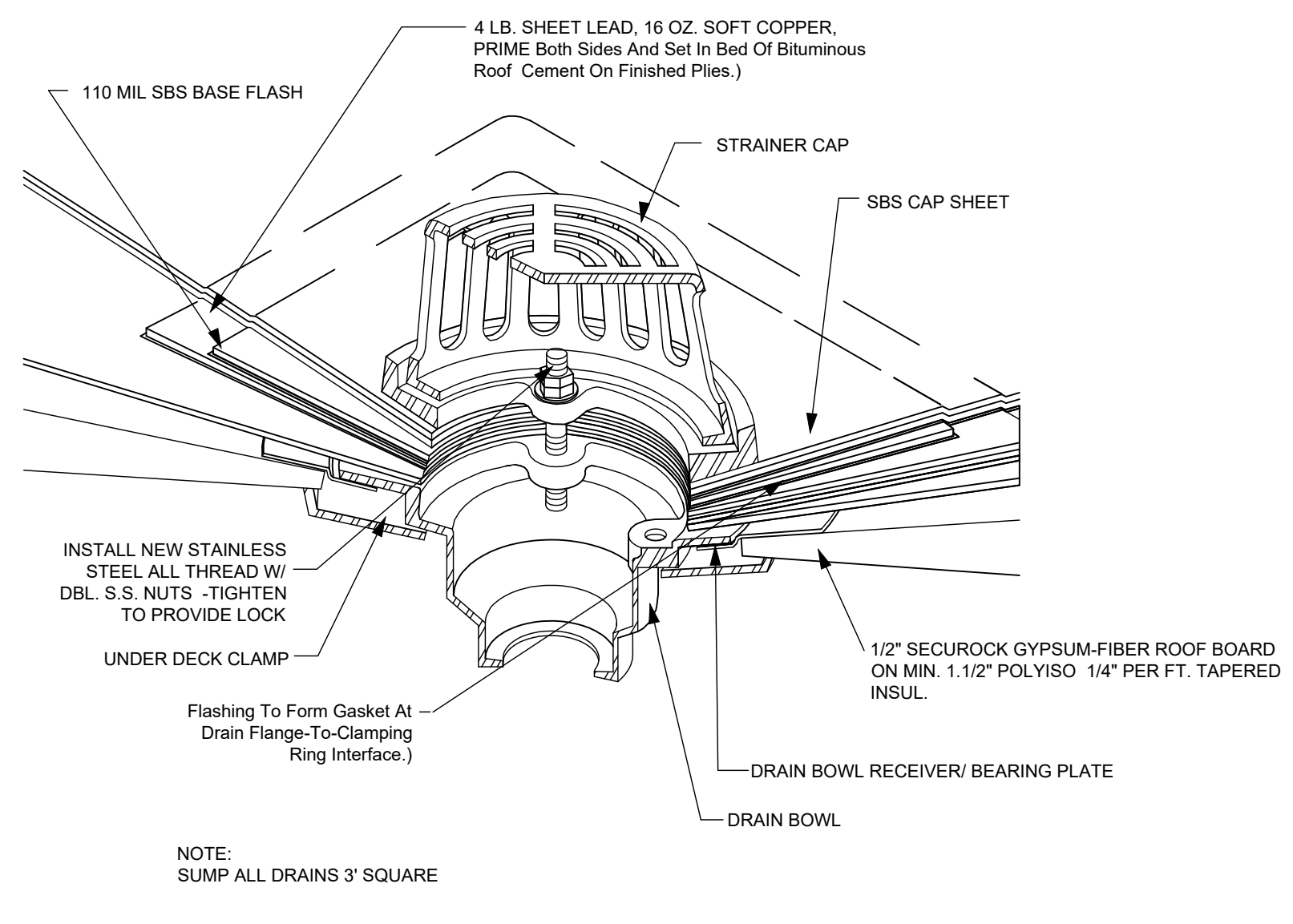
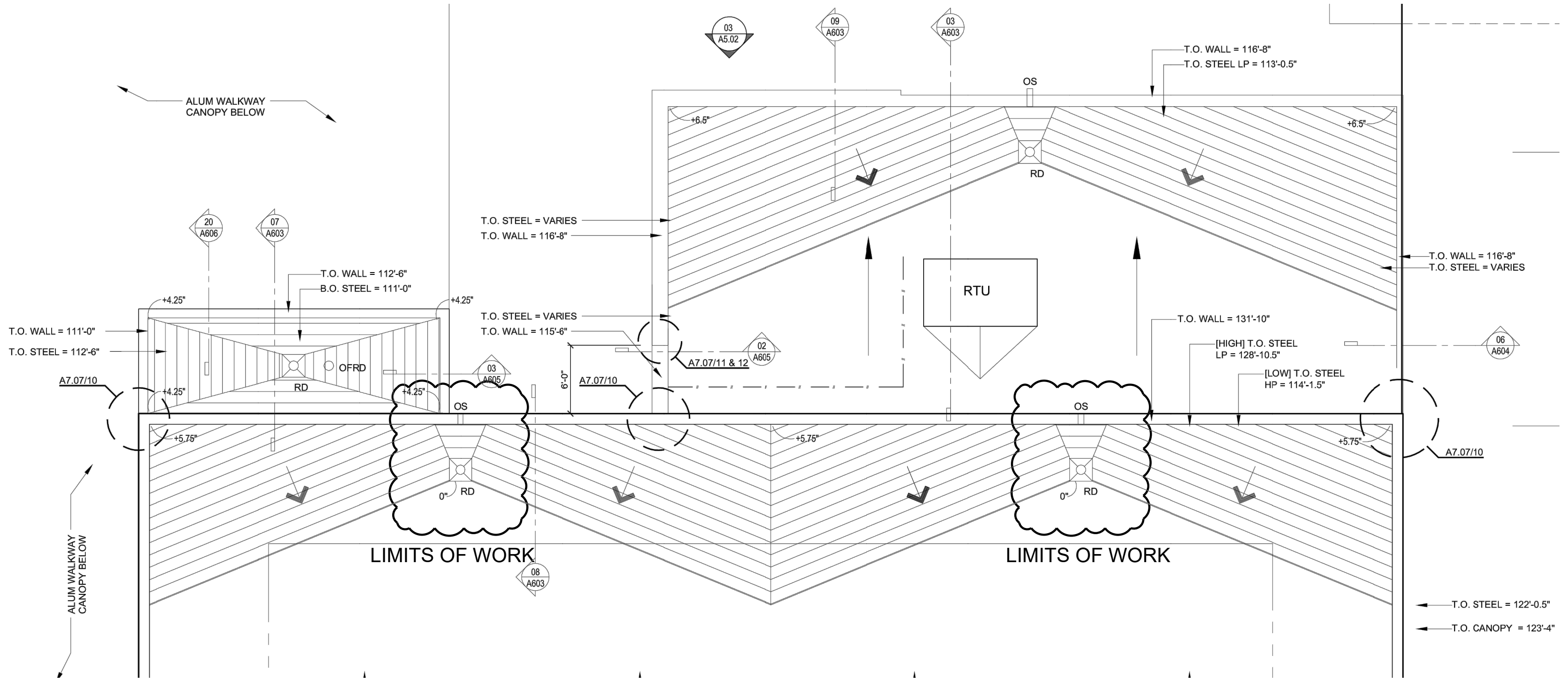
IDEA
 Public Schools



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 Architects-Planners
 Interior Designers
 Date: MARCH 2024
 Scale: As Noted
 Project Architect: Roan Gomez, AIA
 Drawn By: RN MA
 Job No: Exterior Envelope
 Sheet:

A6.01



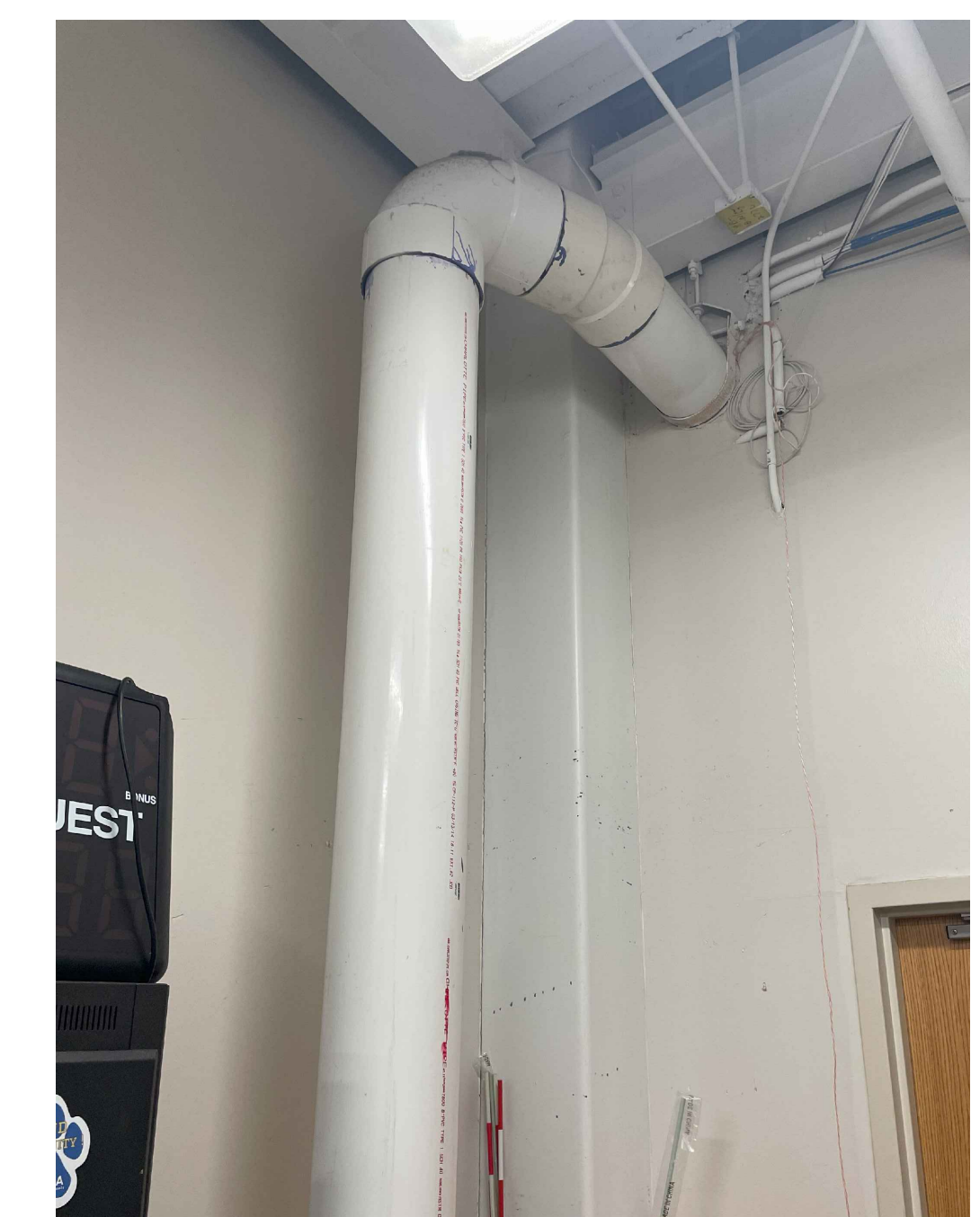


SCOPE OF WORK:

1. Purge drain lines from roof level to discharge points. Perform water test at all roof drains.
2. Inspect roof drain installation for leaks and repair.
3. Perform water test at roof drain lines.
4. Repair drain lines where leaks are occurring.



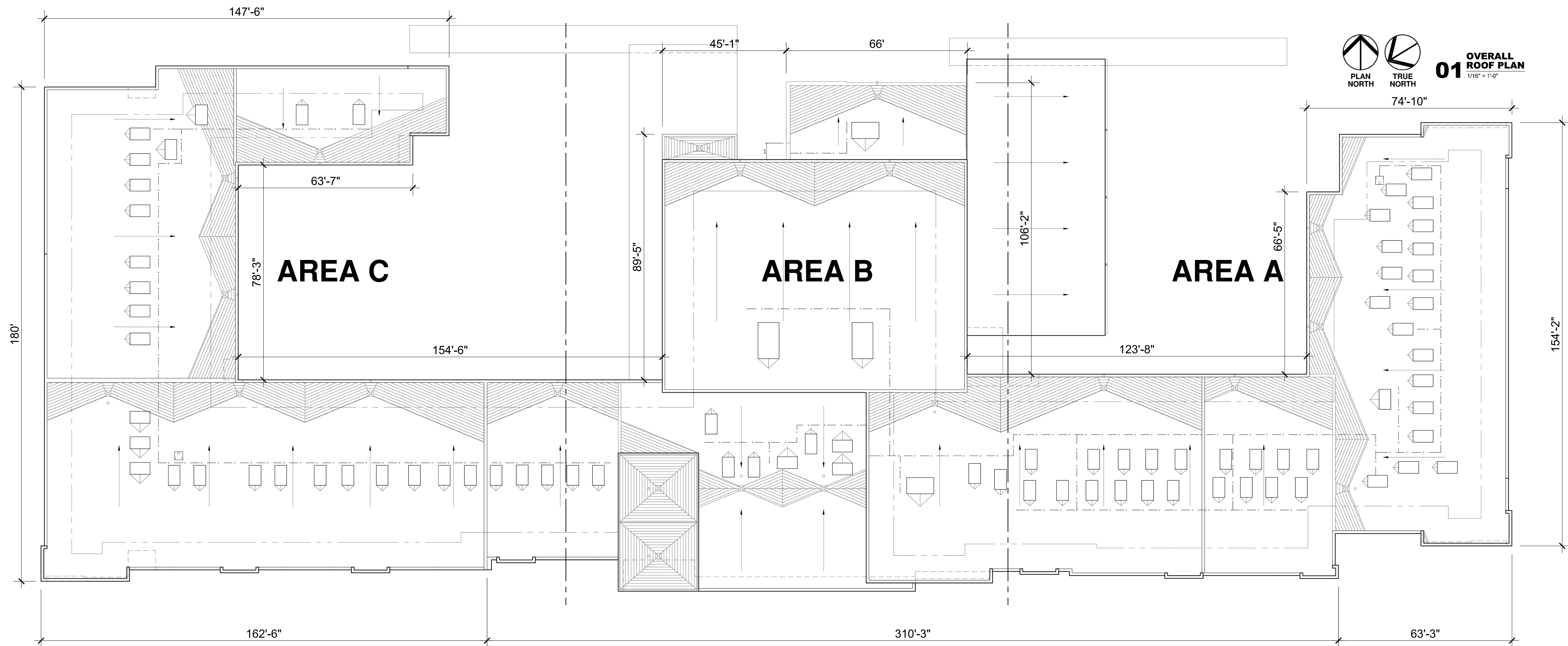
PICTURE #1 - ROUTING OF ROOF DRAIN LINE



PICTURE #2 - ROOF DRAIN LINE AT COACH'S OFFICE



PICTURE #3 - ROOF DRAIN LINE FLOOR PENETRATION

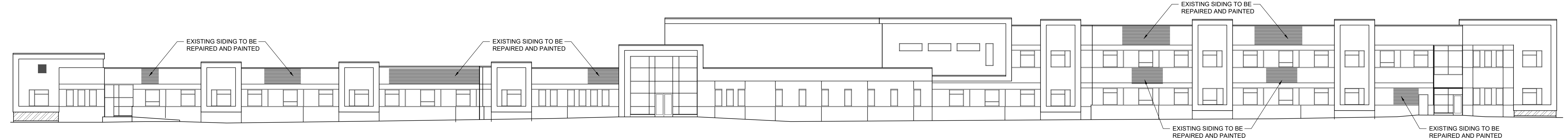


01 DIMENSIONAL CONTROL PLAN
 SCALE: 1/16" = 1'-0"

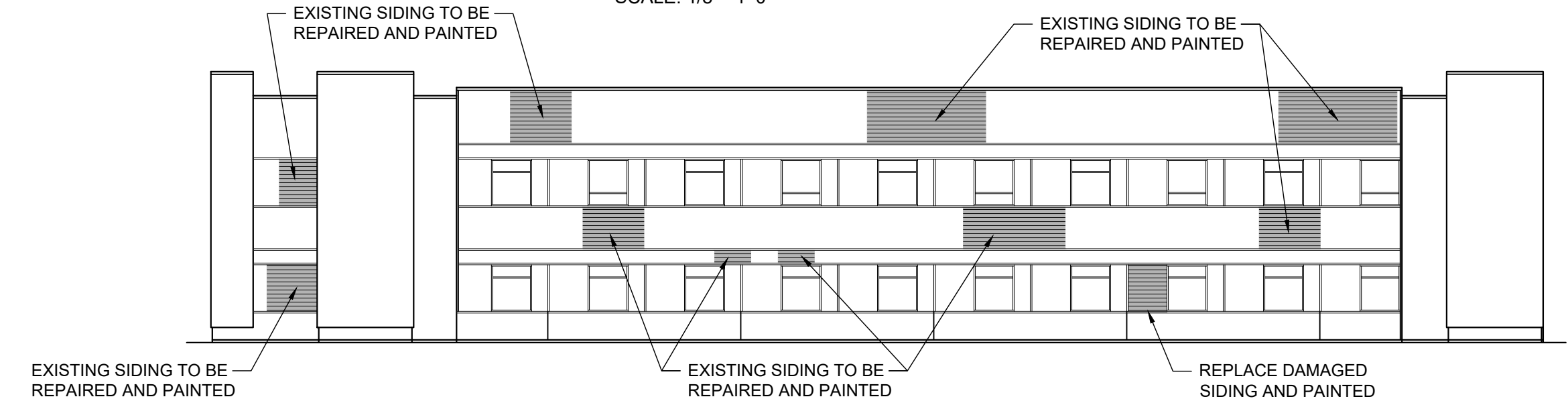
IDEA Public Schools - Exterior Envelope Repairs
 IDEA Austin Montopolis
 Austin, Texas



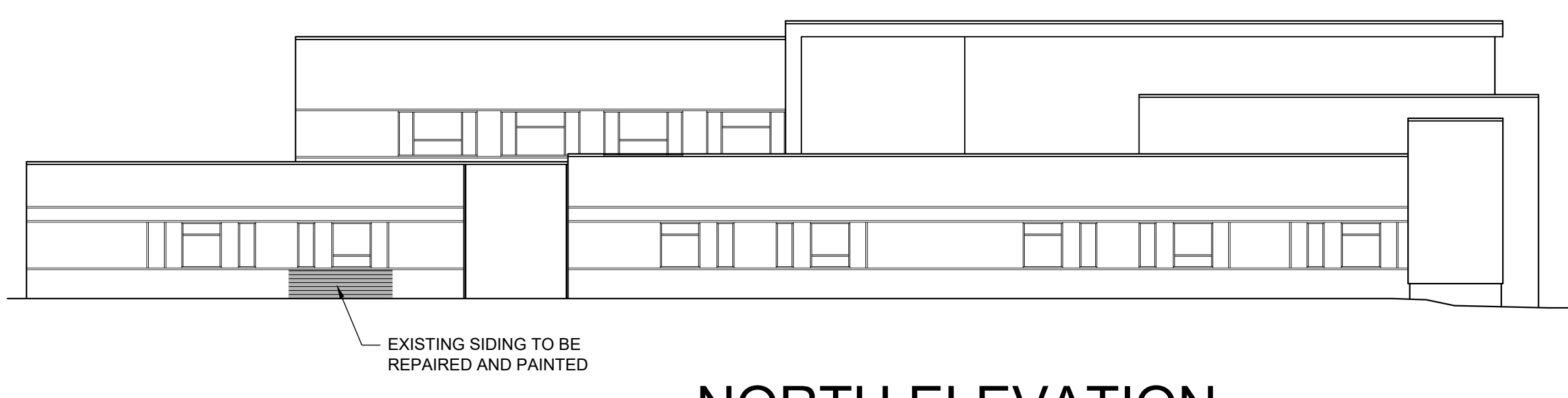
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 Interior Designers
 Date: MARCH 2024
 Scale: As Noted
 Project Architect: Robin Gomez, AIA
 Drawn By: RN, MA
 Job No: Exterior Envelope
 Sheet:



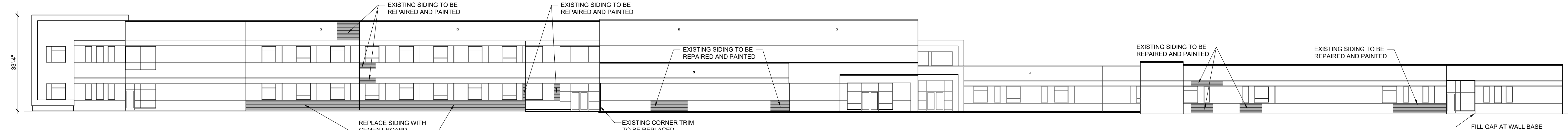
01 WEST ELEVATION
SCALE: 1/8"= 1'-0"



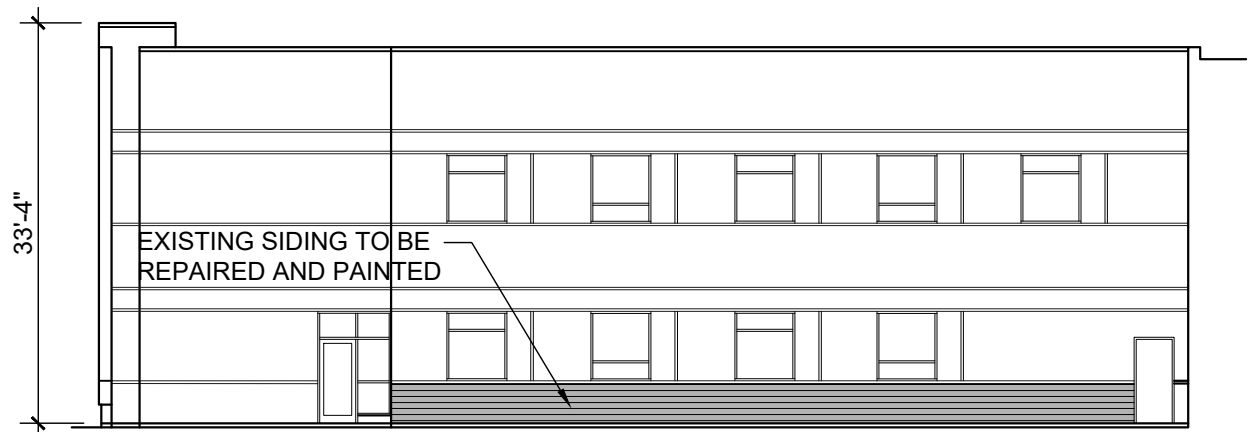
02 SOUTH ELEVATION
SCALE: 1/8"= 1'-0"



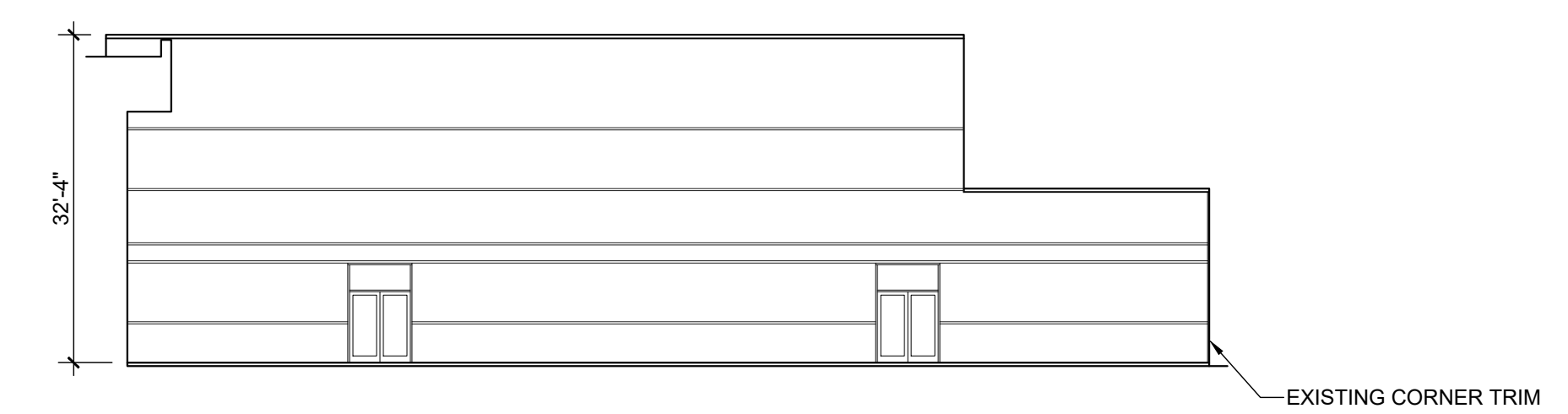
04 NORTH ELEVATION
SCALE: 1/8"= 1'-0"



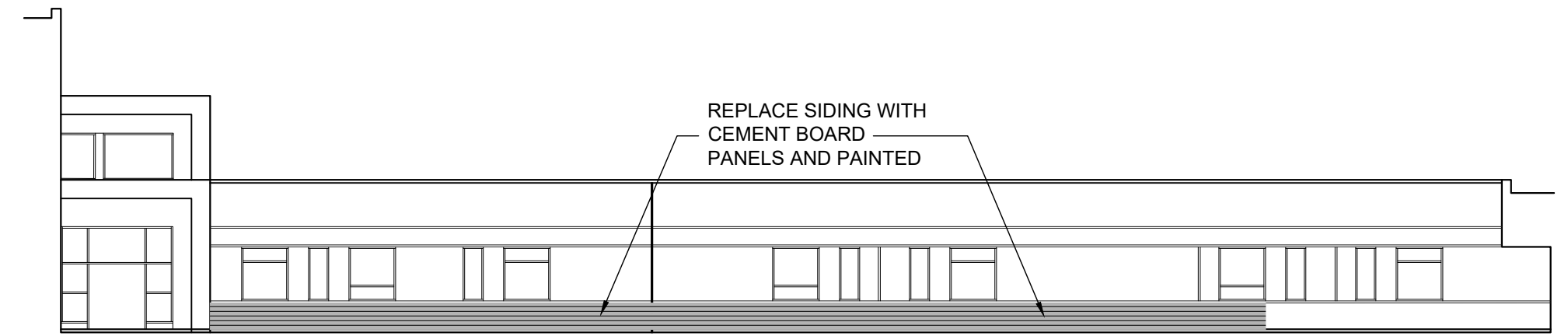
03 EAST ELEVATION
SCALE: 1/8"= 1'-0"



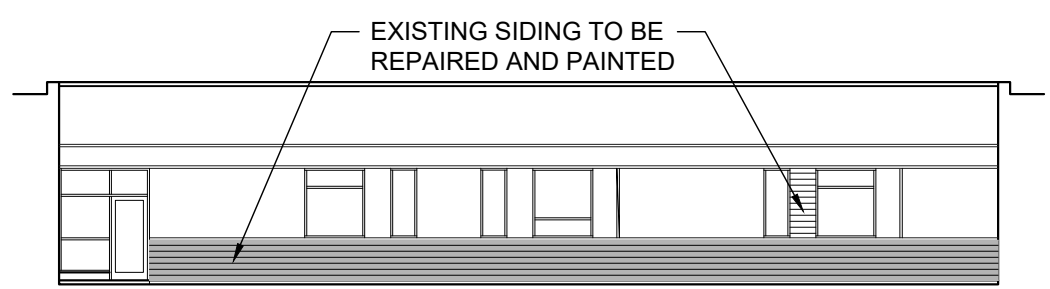
05 NORTH ELEVATION
SCALE: 1/8"= 1'-0"



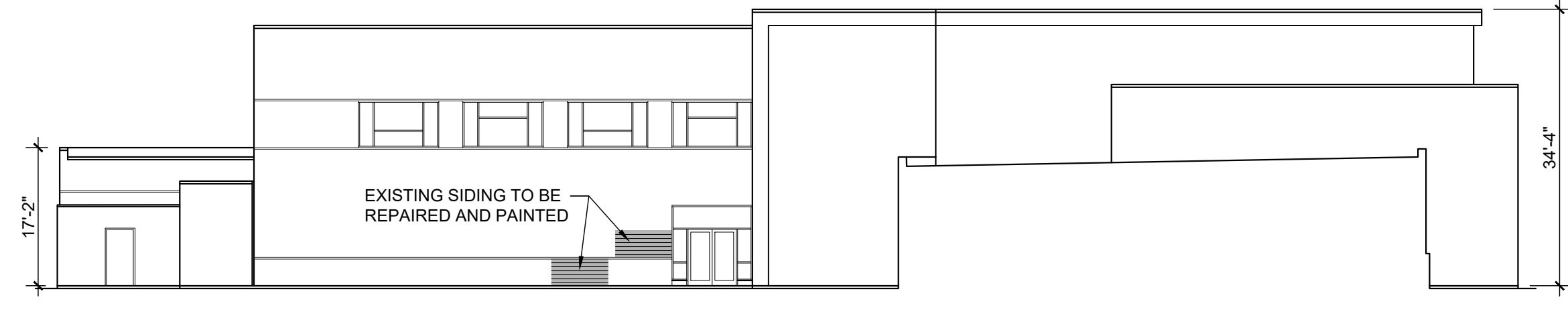
06 SOUTH ELEVATION
SCALE: 1/8"= 1'-0"



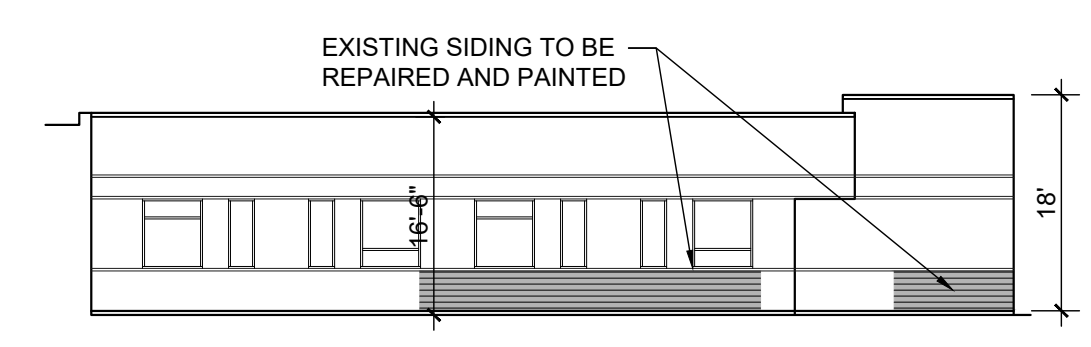
08 EAST ELEVATION
SCALE: 1/8"= 1'-0"



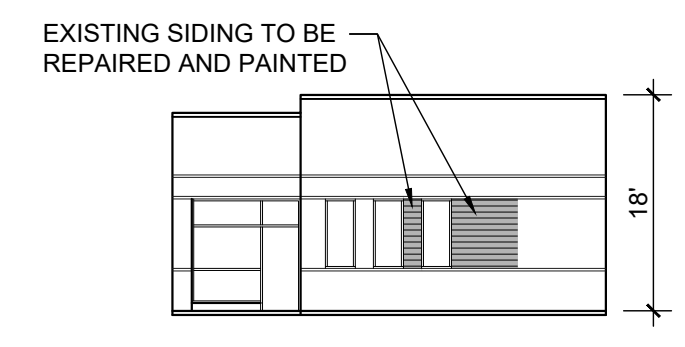
09 SOUTH ELEVATION
SCALE: 1/8"= 1'-0"



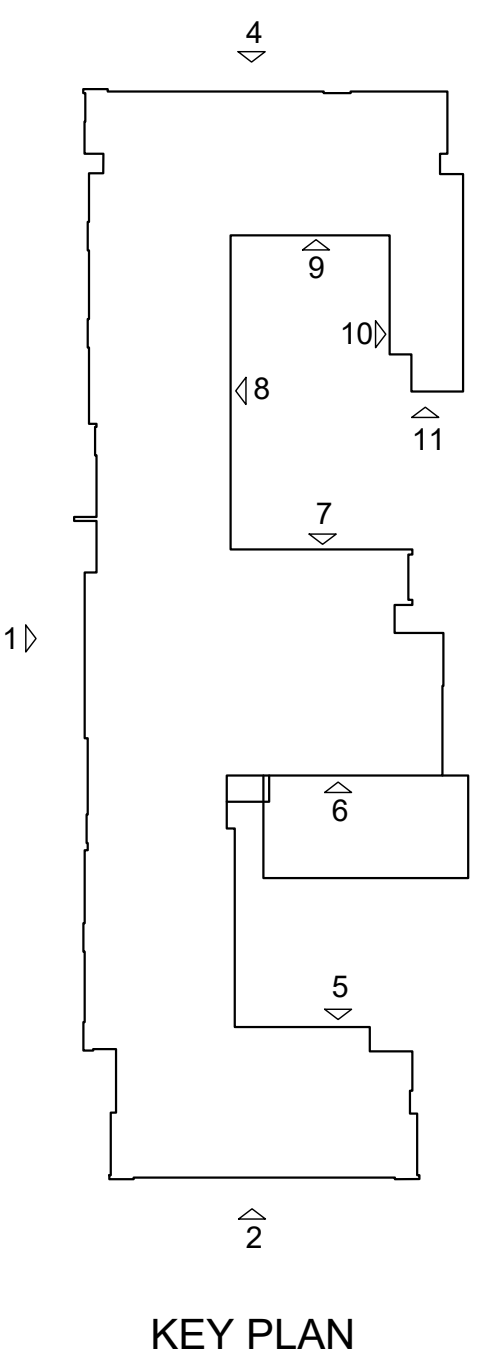
07 NORTH ELEVATION
SCALE: 1/8"= 1'-0"



10 WEST ELEVATION
SCALE: 1/8"= 1'-0"



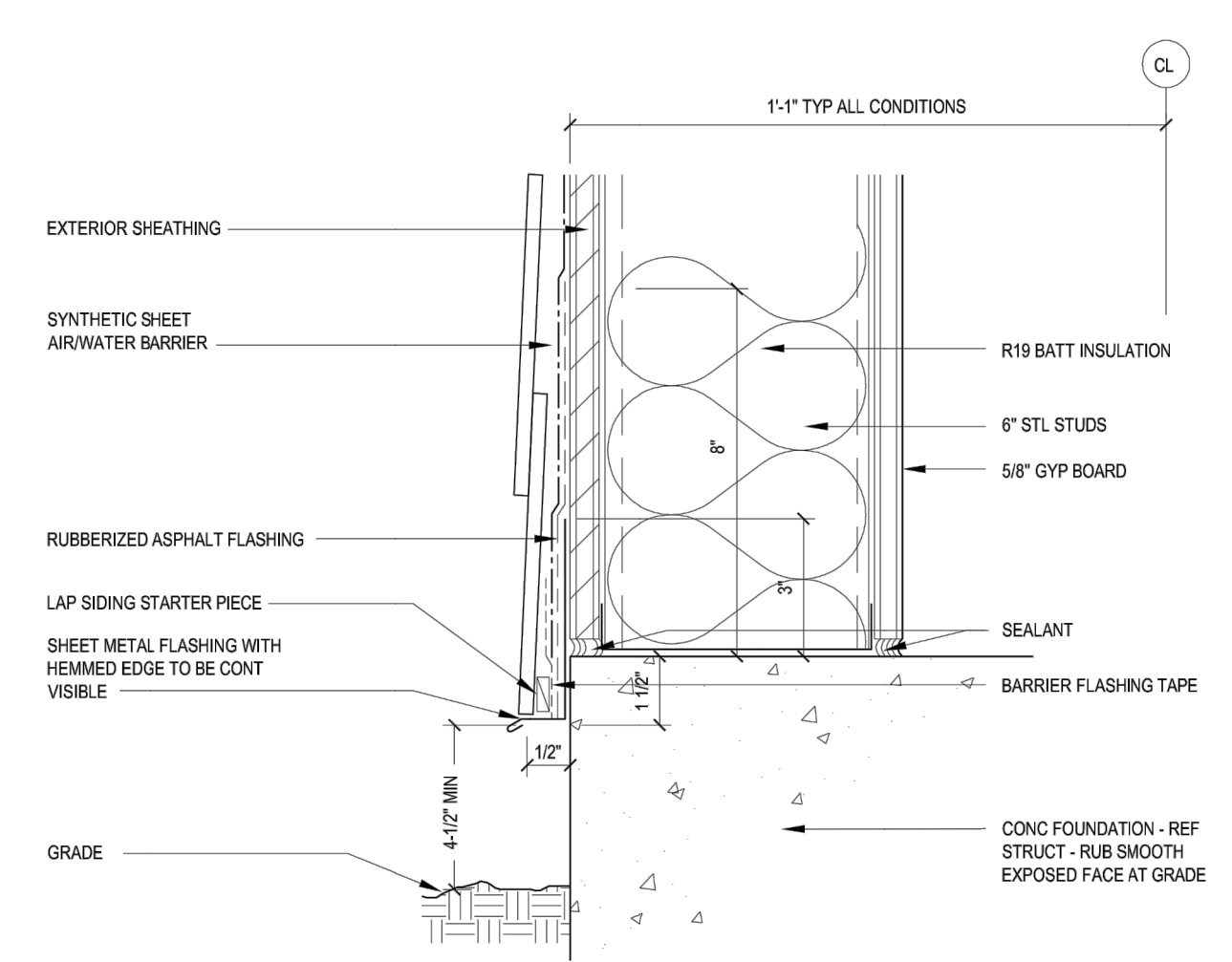
11 SOUTH ELEVATION
SCALE: 1/8"= 1'-0"



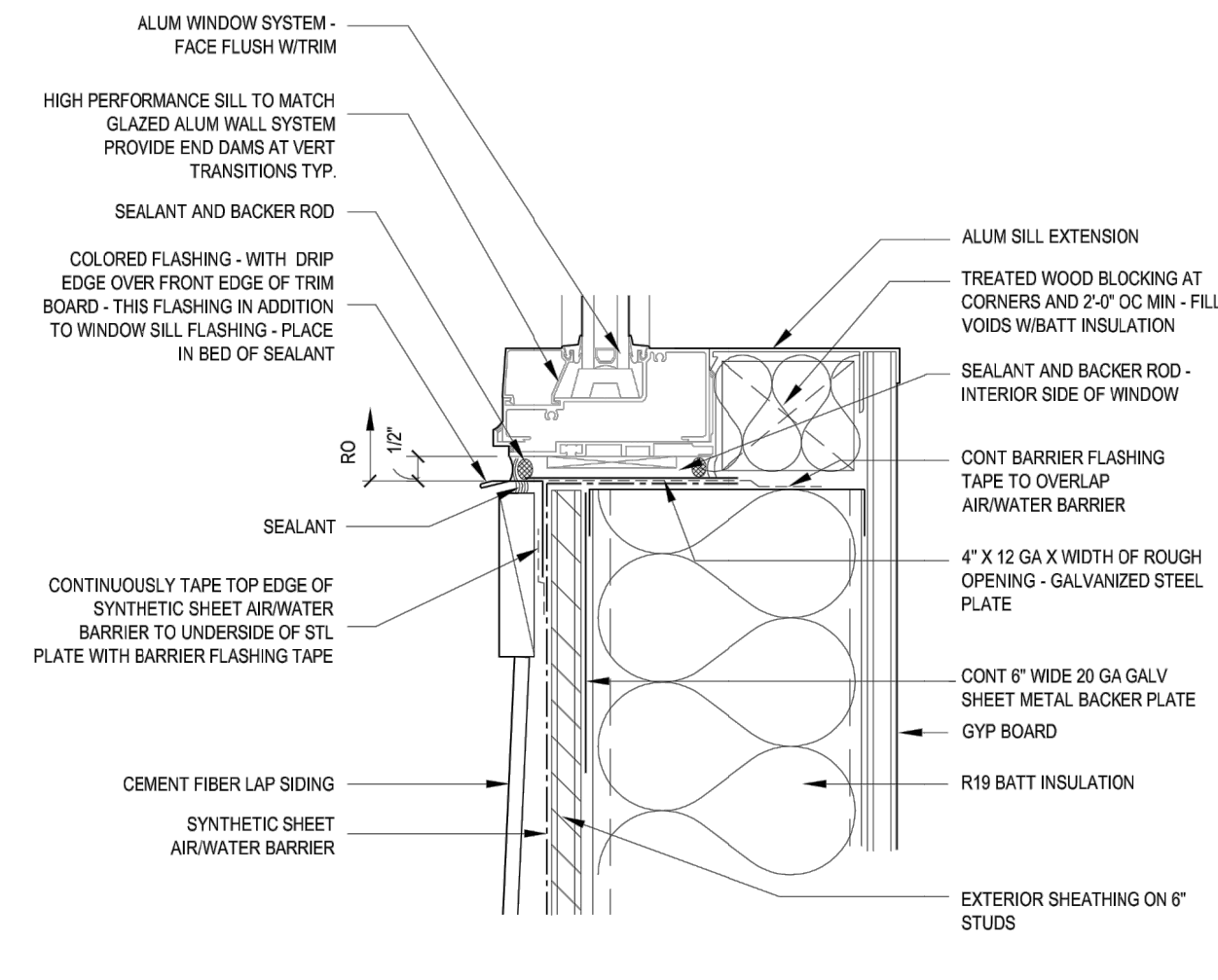
KEY PLAN

SCOPE OF WORK:

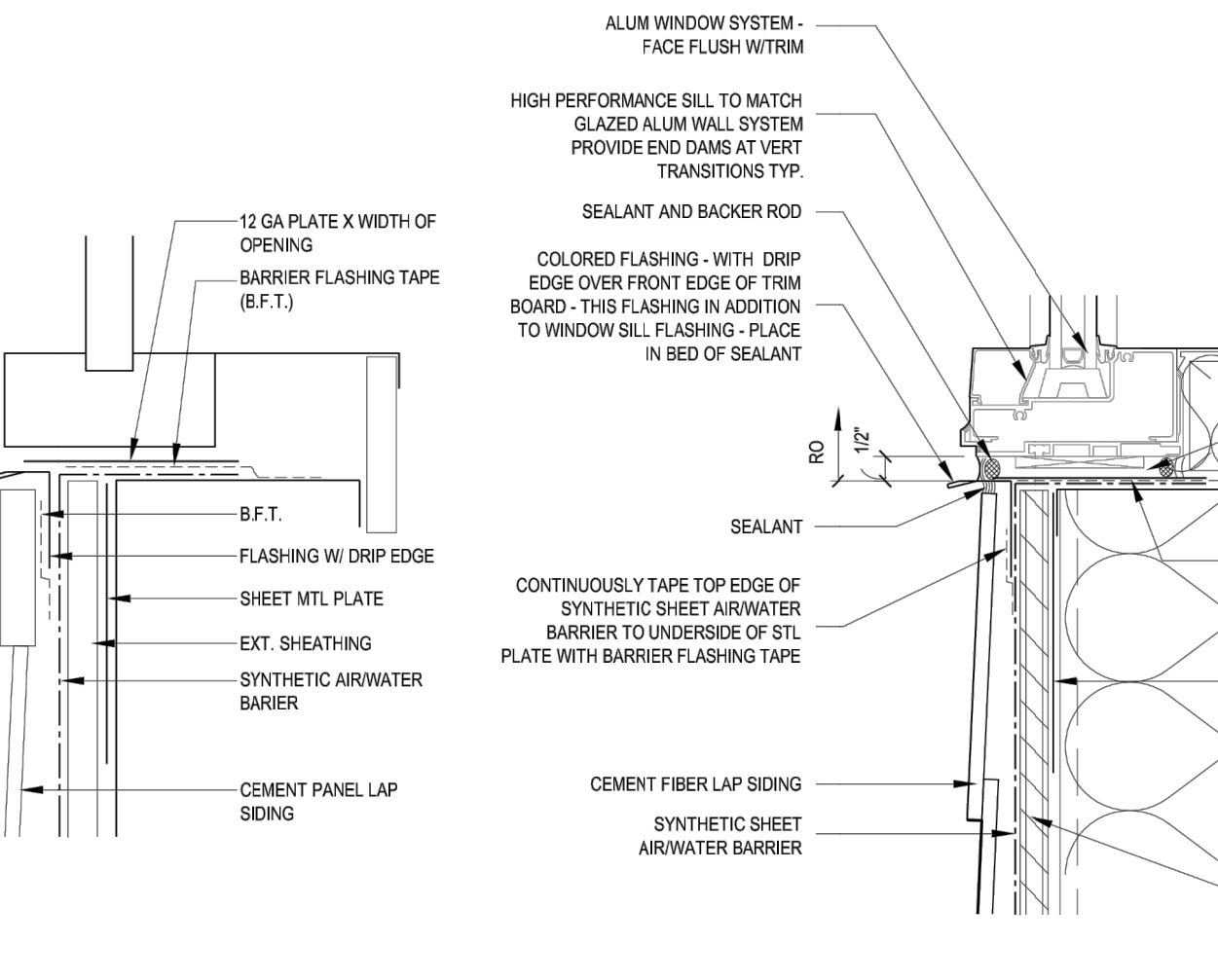
1. Remove damaged cement board siding and trim.
2. Inspect vapor barrier and repair, as required.
3. Install cement board panels with trim and accessories.
4. Seal all windows and doors where panels are installed.
5. Paint cement board panels to match existing colors.



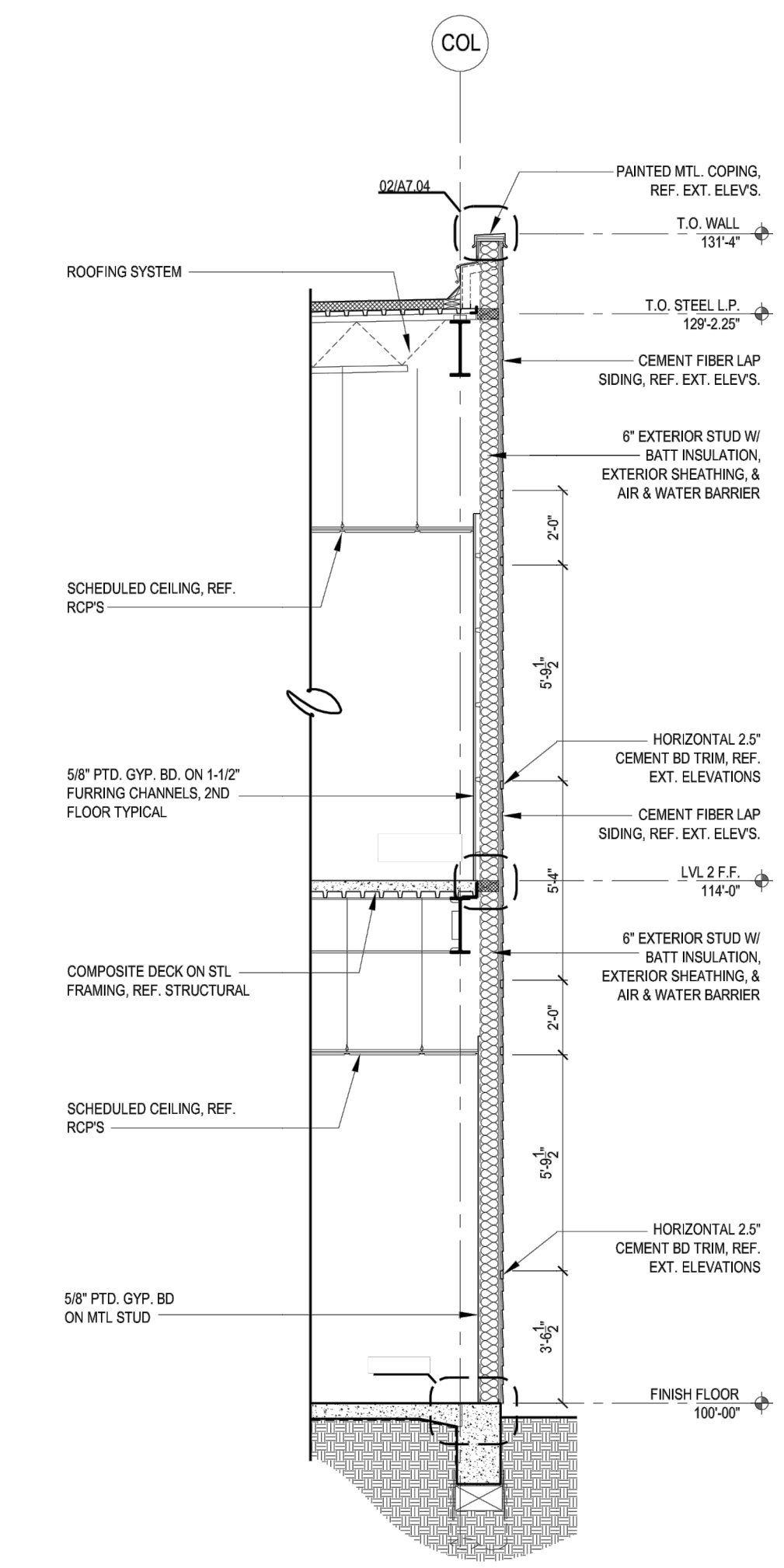
12 WALL BASE
NOT TO SCALE



13 SILL DETAIL
NOT TO SCALE



14 SILL DETAIL
NOT TO SCALE



15 WALL SECTION
NOT TO SCALE

